

GEORGETOWN-SCOTT COUNTY PLANNING COMMISSION

**AGENDA
JUNE 13, 2024
6:00 p.m.**

I. COMMISSION BUSINESS

- A. Approval of May invoices
- B. Approval of May 9, 2024 minutes
- C. Approval of June 13, 2024 agenda
- D. Items for postponement or withdrawal
- E. Consent Agenda

II. OLD BUSINESS

- A. FSP-2024-13 Three Springs Campground - POSTPONED
- B. PDP-2024-14 Sawyer Pointe Clubhouse - POSTPONED
- C. PSP-2024-15 & PDP-2024-16 Golf Townhomes of Cherry Blossom Phase 7 - Preliminary Subdivision Plat for 27 single-family lots and Preliminary Development Plan for nine (9) single-family detached and 18 single-family attached residences (arranged in 6 triplexes) located at southern terminus of Ashley Drive & Ikebana Drive west of Lanes Run Creek, northwest of Old Oxford Road.

III. NEW BUSINESS

- A. PSP-2024-24 Woodland Airstream Property Subdivision - Preliminary Subdivision Plat for the subdivision of a 6.27-ac commercial zoned parcel into two lots located at 120 Wahland Hall Path.
- B. PDP-2024-25 150 Mt. Vernon Drive Parking Expansion - Preliminary Development Plan to expand existing parking/VUA by 24,888.90 sq. ft. for a total of 52,867.59 sq. ft. and 126 parking spaces located at 150 Mt. Vernon Drive.
- C. PDP-2024-26 R&L Carriers - Amended Preliminary Development Plan for a 156-door cross dock facility, office, vehicle parking, and maintenance garage located on Parcel: 162-20-012.000.
- D. PDP-2024-27 TMMK-PV Project - Preliminary Development Plan for a renewable energy project consisting of ground mount PV solar array system on 18 acres with a future expansion of 9.25 acres located north of Lexus Way and west of Cherry Blossom Way in NE Georgetown.

IV. OTHER BUSINESS

- A. Comprehensive Plan Future Land Use Maps Discussion

**GEORGETOWN-SCOTT COUNTY PLANNING COMMISSION
REGULAR MEETING
MINUTES
May 9, 2024**

The regular meeting was held in the Scott County Courthouse on May 9, 2024. The meeting was called to order by Chairman Charlie Mifflin at 6:00 p.m. Present were Commissioners James Stone, Dann Smith, Harold Dean Jessie, Duwan Garrett, David Vest, Mary Singer, Brad Green, Jessica Canfield and Director Joe Kane, Planners Elise Ketz and Rhett Shirley, Engineer Ben Krebs, and Attorney Charlie Perkins.

Motion by Smith, second by Singer, to approve the April invoices. Motion carried.

Motion by Stone, second by Smith, to approve the April 11, 2024 minutes. Motion carried.

Motion by Singer, second by Smith, to approve the May agenda. Motion carried.

Postponements/Withdrawals

Chairman Mifflin stated that the application for Three Springs Campground (FSP-2024-13), Sawyer Pointe Clubhouse (PDP-2024-14) and Cherry Blossom Golf Townhomes Phase 7 (PSP-2024-15/PDP-2024-16) have been postponed until the next regularly scheduled meeting and Cherry Blossom Village Tract 11B (PSP-2024-07) and Cyron Holding Parking Area (PDP-2024-23) have been withdrawn.

All those intending to speak before the Commission were sworn in by Mr. Perkins.

FSP-2024-12 Scallan Property – Final Subdivision Plat to subdivide a 75.7-acre farm into nine (9) parcels measuring from 5.1-acres to 13.6-acres located at 3613 Cynthiana Road.

Ms. Ketz stated there are four parcels measuring 5 to 6 acres, four parcels measuring 10 acres and the remainder parcel measuring 13.6 acres. She stated this application was continued from last month due to concern of the location of the utilities.

She stated access is from 4 shared driveways and one single user driveway from Cynthiana Road.

She stated the original plat showed the overhead utility lines but the inground utility lines was in question at the April 2024 meeting. She stated the gas and waterline have recently been located.

She stated that the labeled entrances at the top for the 5-acre tracts have been determined that one is the main entrance and two is the access for an adjoining tract.

She stated she added an additional condition of approval that the final plat would show all utility lines and easements to the Ricketts Property.

Chairman Mifflin questioned if the waterline infringed upon the building area of Tract 5. It was stated that the water line mainly runs along the building setback line of the lot.

Rita Jones, representing applicant, stated the applicant inherited the property but lives out of state. She stated finding the utility lines was difficult, but the applicant will grant all necessary easements.

Ms. Jones was questioned if the applicant tried selling the farm as a whole. She stated there was talk but there is not a market for the whole farm.

After further discussion, **Motion by Singer, second by Garrett to approve Scallan Property (FSP-2024-12) subject to (7) conditions of approval. Motion denied 4-5 with Jessie, Vest, Stone, Green, and Smith dissenting.**

Discussion among the Planning Commission regarding reasoning for denying the application.

Roy Cornett, Main Street, stated he understands both sides. He encouraged further exploration of cluster subdivisions.

Ms. Jones stated the applicant will have restrictions to keep this higher priced property.

After further discussion, **Motion by Singer, second by Garrett to approve Scallan Property (FSP-2024-12) subject to (7) conditions of approval. Motion approved 5-4 with Jessie, Vest, Stone, and Green dissenting.**

FSP-2024-18 Caristo Property – Final Subdivision Plat to divide one 11.4-acre parcel from an 88.75-acre parcel, leaving a 77.35-acre remainder tract located at 2011 Burton Pike.

Mr. Shirley stated no variances are needed for the application and that staff recommends approval. He stated the property and surrounding property is zoned A-1.

After further discussion, **Motion by Jessie, second by Garrett to approve Caristo Property (FSP-2024-18) subject to (5) conditions of approval. Motion carried unanimously.**

FSP-2024-19 Lee Property – Final Subdivision Plat to divide one 20.61-acre parcel into three parcels (5.16 ac, 7.4 ac, 8.05 ac) located at 1599 Graves Road.

Mr. Shirley stated the property is zoned A-1. He stated no variances have been requested and staff are recommending approval.

He stated tract 7B and 7C will share an entrance along the northern property line.

He stated tract 7B and 7C have a drainage easement which prohibits construction in that area.

Richard Cassady, 1669 Graves Road, questioned who would be responsible for helping repair the fence along the property line. It was stated it is shared by both property owners.

After further discussion, **Motion by Singer, second by Stone to approve Lee Property (FSP-2024-19) subject to (5) conditions of approval. Motion carried unanimously.**

FSP-2024-20 Hicks (& Heslep) Property – Final Subdivision Plat to subdivide a 44.63-acre farm into three (3) 5-acre tracts and a remainder located at 120 Muir Lane.

Ms. Ketz stated the property is zoned agricultural and is at the corner of Muir Lane and Midway Road. She stated the proposed tracts would have access to Midway Road and the remainder would use the access from Muir Lane.

She stated no variances are requested and staff does recommend approval of the application.

She stated the three 5-acre tracts would use two driveway locations. She stated new entrances would require KYTC approval.

She stated there are karst areas shown on the plat that would need geotechnical survey before building in that area.

Mary Gregory, 178 Muir Lane, questioned if the driveways would be on Muir Lane. Ms. Ketz stated that the proposed driveways would be on Midway Road and no new driveways proposed on Muir Lane.

Ms. Gregory expressed concern regarding the letter she received and exactly what was proposed. Ms. Ketz and the applicant's realtor explained three 5-acre tracts were being subdivided.

Ms. Gregory expressed her concern over dividing the farmland.

Ms. Ketz clarified the karst area will be on the existing farm and not a proposed tract.

Mr. Cornett stated his parents lived in the area for 40 years. He stated there is a sight distance issue on Midway Road.

Tess Utterback, realtor to the applicant/property owner, stated she was the realtor who sold the land to the current owner. She stated the farm was on the market for over a year. She stated it was downsizing for the owner and the owner never intended to keep the whole farm.

Mike Jones, 100 Creekside Drive, stated his concern over traffic. He stated after hearing more about the application he feels better.

Ms. Ketz submitted a letter from a neighbor to the record. She stated that in the email she received, there was concerns for traffic, the karst area, and wanting to keep the aesthetic of the area.

Carolyn Lloyd, 309 Muir Lane, expressed concern for traffic on Muir Lane. She questioned if subdividing would change the zoning of the property.

After further discussion, **Motion by Singer, second by Smith to approve Hicks & Heslep Property (FSP-2024-20) subject to (6) conditions of approval. Motion carried unanimously.**

FSP-2024-21 Duvall Property – Final Subdivision Plat to divide the following parcels from a 26.52-acre parent tract parcel: 1B-1: 14.21 acres, 1B-2: 7.09 acres, 1B-3: 5.23 acres located at Parcel 039-00-001.002 bound by 1510 & 1360 Woodlake Road.

Mr. Shirley stated all parcels are zoned A-1 and no variances are requested. He stated all parcels are cross by two easements for drainage and utilities.

He stated there is an existing entrance and two proposed entrances. He stated the bottom proposed entrance depends upon the removal of a rock fence.

Greg Henderson, 1510 Woodlake Road, stated that he does have a working farm and would like people who move next door to realize that. He stated he has friends who have had trouble with a neighbor regarding smell from their farm.

After further discussion, **Motion by Smith, second by Jessie to approve Duvall Property (FSP-2024-21) subject to (4) conditions of approval. Motion carried 8-1 with Vest dissenting.**

Consent Agenda

A representative of Triport Industrial Park (PSP-2024-22) agreed with their conditions of approval, and no comments were made by the Commission or Public. Motion by Jessie, second by Stone, to approve the application. Motion carried unanimously.

Election of Officers

First vote for election of vice chairman ended in tie vote of 4-4 for Singer and Jessie and one write in vote for Garrett. Commissioner Jessie withdrew from the election and Singer was named Vice-Chairman by acclamation. Garrett, Vest, Smith, Singer, and Mifflin will remain on the Executive Committee with Mifflin as Chairman.

Chairman Mifflin adjourned the meeting.

Attest:

Charlie Mifflin, Chairman

Charlie Perkins, Secretary

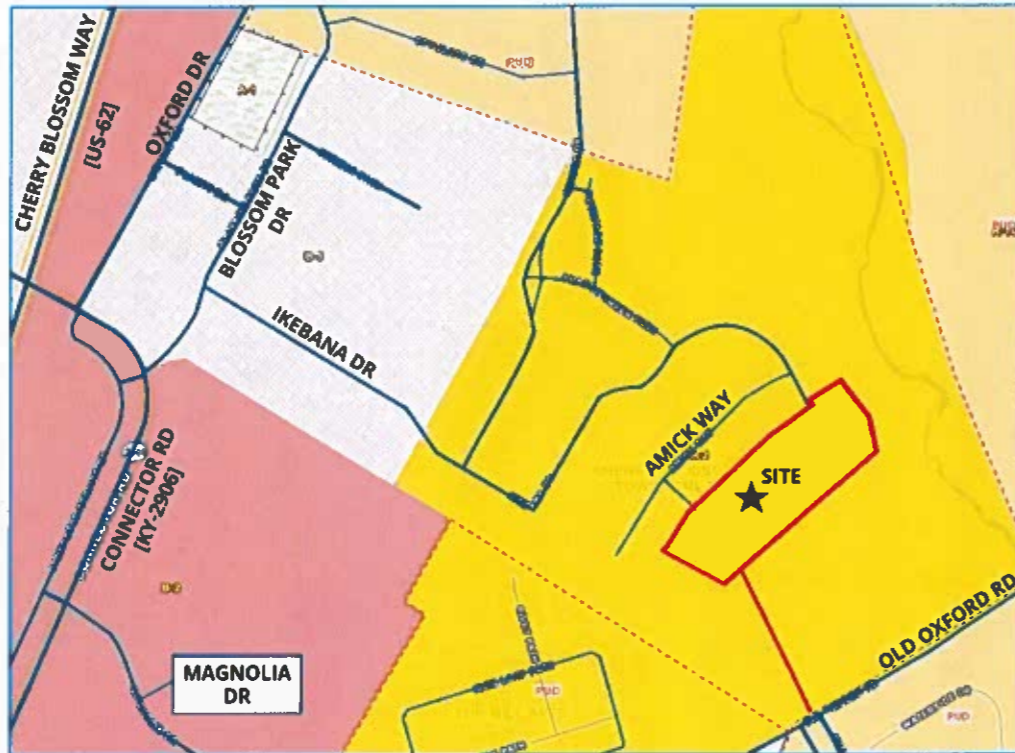
**GOLF TOWNHOMES OF CHERRY BLOSSOM PHASE 7
PRELIMINARY SUBDIVISION PLAT & DEVELOPMENT PLAN**

**Staff Report to the Georgetown-Scott County Planning Commission
June 13, 2024
(postponed from 05/09/2024)**

FILE NUMBER: PSP-2024-15 & PDP-2024-16

PROPOSAL: Preliminary Subdivision Plat for 27 single-family lots

Preliminary Development Plan for nine (9) single-family detached and 18 single-family attached residences (arranged in 6) triplexes



LOCATION: At southern terminus of Ashley Drive & Ikebana Drive west of Lanes Run Creek, northwest of Old Oxford Road

OWNER: Golf Townhomes of Cherry Blossom, LLC

CONSULTANT: Rory Kahly
EA Partners, PLC

STATISTICS:
Zone: R-2 PUD
Surrounding Zone: R-2
Site Area: 15.07 acres (pre-development of Phase 7)
9.57 acres (post development of Phase 7)

Development Area: 4.94 acres total (0.98 acres ROW, Net Area 3.96 acres)
 Number of Dwelling Units [Density]: 27 DU [7.031 DU per net acre]
 Proposed Development: 9 Single-Family Detached Dwellings
 18 Single-Family Attached Dwellings, grouped as tri-plexes
 New Street Required: Yes, 1,348 linear feet of new roadway
 Access: Access via Old Oxford Road through extension of Ashley Drive
 Access via Ikebana Drive, local residential roads with approximately 29' wide BOC to BOC
 Variances: Continuation of R-2 PUD Reductions:
 1. Minimum lot width & area
 2. Front & side yard setback
 Width of triplex units from 110 feet to 105 feet

BACKGROUND:

The Project Site is a 5.5-acre portion of the Cherry Blossom multi-family area. This area was approved for R-2 (PUD) zoning at the time of original zone change approval for the Cherry Blossom community in 1995 and 1999. Multiple preliminary plats have been approved and amended since the initial rezoning. The Project Site is not the entirety of the remaining multi-family area, and approximately 9.57 acres of R-2 PUD zoned property would remain undeveloped at this time.

Development of the multi-family area has occurred incrementally, with six previous phases approved. The Preliminary approval of phase seven will bring the total number of units approved in the multi-family area to one hundred thirty (130).

Road Connections

Staff is aware of the congestion on and around Connector Road, Cherry Blossom Way, and Ikebana Drive. The multi-family section of Cherry Blossom is in an area that was identified as needing a collector roadway in the Northeast Georgetown Traffic Study (2008). The study identified many short-term "urgent" and major improvements that need to be made to the area, improvements which directly impact development of the Cherry Blossom subdivision. Major improvements cited in the study were the widening of Old Oxford Road, realignment of the Connector Road & Blossom Park Drive intersection, installation of traffic signals, and the extension of a collector road to Old Oxford Road.

Ikebana Drive was extended from Blossom Park Drive in 2014. This provided the required second access to the multi-family area, from the Commercial section of the Howard Property. The extension of Ikebana Drive to Blossom Park Drive may have alleviated internal pressures, but the roads all lead to the same junction.

In an analysis of traffic collisions from 2016 to 2023, the Cherry Blossom Way, Connector Road, and Osborne Way area intersections were identified as having the second highest instances of traffic collisions within the Georgetown City Limits. This is second only to the Bypass and Paris Pike intersections. Directing additional residents to an area that has been recognized to have this many traffic collisions is unsafe, and an alternative way for residents to get to their properties should be prioritized.

Previous phases of the Golf Townhomes of Cherry Blossom have consistently referenced the need for a connection to Old Oxford Road, with some having reserved right-of-way for a collector road along the

south property boundary. However, these same phases include conditions that the widening of Old Oxford Road **and** a connection to Old Oxford Road should occur along with Final Plat approval of the 100th lot in the multi-family area.

After review of the amended plan, the lot and road layout proposed in phase 7 is more conducive to satisfying the requirement to connect to Old Oxford Road than previous versions. Having an alternative exit onto a less congested area would alleviate the pressures of the Cherry Blossom Way and Connector Road intersections.

It is important to emphasize that the connection needs to be available for not just the 27 new residents of phase 7, but also the 103 existing residents of phases 1 through 6 of the Golf Townhomes of Cherry Blossom subdivision and the emergency services, utility providers, and others who require a safe and efficient way to serve the community.

The improvement of and connection to Old Oxford Road is essential for needed road connectivity for emergency services and to allow for local traffic dispersion in the area. Staff does not support approval of this application without the condition that the connection to Old Oxford Road and improvements (including widening) of Old Oxford Road be made prior to approval of the final plat or development plan for the property. By requiring completion of roadway improvements prior to subdivision or development, construction traffic can be directed away from the existing community, reducing traffic through the neighborhood to the phase 7 area.

Furthermore, the connection to Old Oxford Road needs to be publicly available for all residents in the Golf Townhomes and Cherry Blossom subdivision in perpetuity, i.e. not gated for only those residents of phase 7. Potential outlets of larger neighborhood subdivisions were allowed to be gated to specific users, which ultimately did not address the congestion through the neighborhood or increase level of service for emergency services for those residents in the rear of the subdivision.

PRELIMINARY SUBDIVISION PLAT REVIEW (PSP-2024-15):

The plat shows twenty-seven (27) single-family lots, nine (9) detached residences abutting the existing residences off Amick Way and eighteen (18) attached residences across from the detached residences. The attached residences are proposed to be grouped as six (6) triplexes.

The typical single-family detached lots are on average 50-feet-wide and 105-feet-deep (5,250 sq. ft.) and the typical single-family attached lots are on average 33-feet-wide and 110-feet-deep (3,630 sq. ft.). Phase 7 is proposed to have an average of 7.301 dwelling units (DU) per net acre or 4.91 DU per gross acre. This is consistent with the requirements established at the zone change and previous attached residence phases of the development. The smallest lots of phase 7 are the central units in the single-family attached area, with the smallest of these being 3,948 SF (lot #5).

The development is a Planned Unit Development, so variances to the underlying zoning setback, lot width, and area requirements is permissible, provided the variance(s) do not adversely affect the public health, safety or welfare and will not alter the essential character of the general vicinity. Besides the items noted below, the proposed lots would follow the standards for the R-2 zone.

1. Detached Residences
 - a. To the lot width from 60 feet to 50 feet.
 - b. To the minimum lot area from 7,500 SF to 5,260 SF.
 - c. To the front yard setback from 30 feet to 20 feet.
2. Attached Residences
 - a. To the lot width from 60 feet to 33 feet.
 - b. To the minimum lot area from 7,500 SF and 3,000 SF.
 - c. To the front yard setback from 30 feet to 20 feet.
 - d. To the average width of a triplex building from 110 feet to 105 feet.

Variances to the front yard setback and lot width would be in keeping with what was built in earlier phases. The reduction would bring front facades closer to the street and would match the lot widths and front yard setbacks of the townhomes on Riviera and the homes and duplexes on the built portions of Ikebana. A reduction of the front setbacks, lot areas and lot widths would also render the smaller, urban scale lots more usable and not ultimately alter the general character of the area. Staff does support the variance to minimum lot area for the detached residential lots as the Phase 7 lots would be consistent with previous phases.

There is significant variation on what the smallest lot could be in Phase 7. The smallest single-family detached lot shown measures 3,948 SF, the typical lot area for the phase is 3,630 SF, and the subdivision plat lists that the R-2 PUD previously permitted minimum was 3,300 SF. In this Phase, the Applicant requests a variance to the lot area from 7,500 SF to 3,000 SF.

The townhome units of Phase 7 are a continuation of the previously approved Phase 5 townhome area, smallest lot for that phase was 3,573 SF (lot #60, 255 Ikebana Drive) and average lot size is 4,953 SF. While it may appear insignificant, the differences in lot sizes would result in a different home style/layout which would detract from neighborhood character. Based on this consideration, staff would not support a variance to the lot area for the attached residential lots from 7,500 SF to 3,000 SF, but would support a variance to the lot area for the attached residential lots from 7,500 SF to the minimum lot size shown presently, or 3,948 SF. The value of 3,948 SF is the size of the smallest lot shown for Phase 7 (lot #5) and lies between the smallest lot and average lot areas of phase 5. This lot size is reasonably anticipated to not detract from the other homes and lots in this phase and would not disrupt the overall character of the neighborhood.

An additional waiver is required for the average width of the triplex building from 110 feet to 105 feet. This would be consistent with the R-2 (PUD) standards for the property and the existing triplex units on Riviera Drive and Bethpage Path and would not alter the character of the community. Staff supports this variance but reminds the Applicant that there are still side-yard setbacks that must be considered for multi-family development.

Floodplain is shown in the rear property lines of lots 1-4, and near the rear property lines for lots 5 & 6. The grading plan also shows some steep slopes proposed for lots 1-6, with an estimated grade change

from front to rear of the shared property line between lot 3 and 4 of 23.6%. Additionally, it was identified at TRC by commission engineering Staff that the proposed/currently undeveloped area contains closed contour sinkhole/environmentally sensitive areas, and these must be shown on preliminary and must comply with regulations.

The Applicant has not yet adequately addressed how stormwater quality and quantity will be handled with this development. Previous phases of the multi-family development had stormwater being handled through an area wide stormwater plan and easements, but no connections to the plan and easements are shown on this plan. The stormwater management plan shall be approved by the Planning Commission Engineer. A homeowners' association will be required for the maintenance of common areas and facilities.

PRELIMINARY DEVELOPMENT PLAN (PDP-2024-16):

The plan shows nine (9) single-family detached residences and eighteen (18) single-family triplexes (attached residences), or 27 total units. Sidewalks are shown on both sides of the public streets. The proposed street for this area is public and proposed to be a width that allows parking on one side. The cross-section for Ashley Drive (Section B-B) does not reflect what is shown and will need to be corrected on the final plan. All units are proposed to have front access with driveways, which is consistent with previous phases of the Golf Townhomes section.

The number of bedrooms dictates the minimum number of off-street parking spaces required in a residential development. The proposed plan identifies four (4) off-street parking spaces per townhome unit. Per the *Subdivision and Development Regulations*, a one (1) bedroom townhome residence requires two (2) off-street spaces and a two (2) or three (3) bedroom townhome residence requires 2.5 off-street spaces. Each unit appears to have a garage and driveway combination, which can be credited for 2 off-street parking spaces of the 2.5 spaces required for the residence type. If the garages are two-car construction, the combination of garage and driveway can be credited for 4 off-street parking spaces.

The proposed plan does not state the number of off-street parking spaces for the single-family detached residences. Per the *Subdivision and Development Regulations*, a two (2) or three (3) bedroom residence requires two (2) off-street spaces and a four (4) to five (5) bedroom residence requires three (3) off-street spaces. The final development plan shall indicate the number of the number of bedrooms in a single-family detached residence and include appropriate off-street parking accommodation.

RECOMMENDATION:

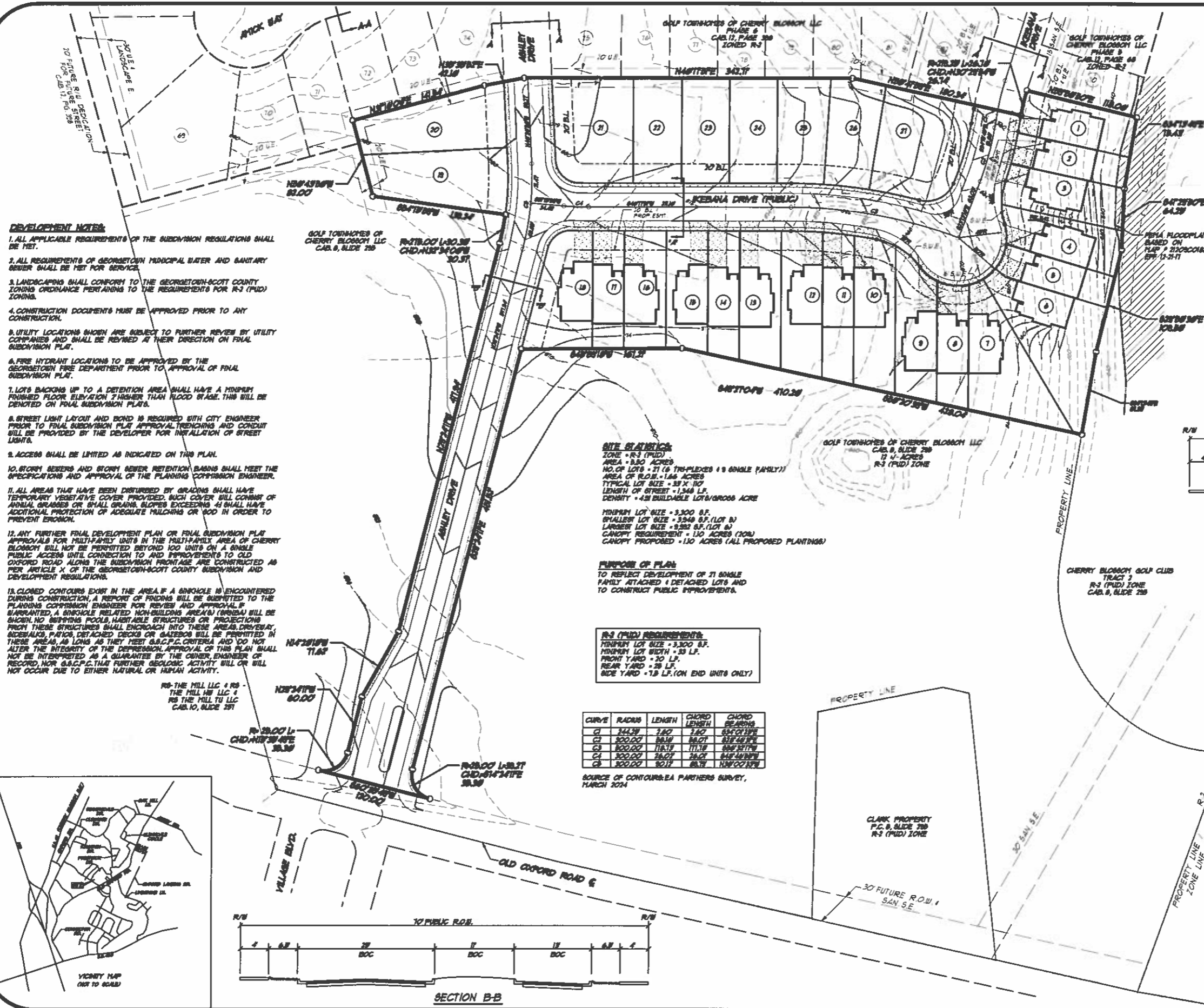
Staff recommends **Approval** of the Preliminary Subdivision Plat & Development Plan for the Golf Townhomes of Cherry Blossom Phase 7 with the following variances, waivers and conditions of approval:

Variances & Waivers:

1. Variance to the lot width from 60 feet to 50 feet, the minimum lot area from 7,500 sq. ft. to 5,260 sq. ft. and to the front setback from 30 feet to 20 feet for the nine single-family detached residential lots.
2. Variance to the lot width from 60 feet to 33 feet, the minimum lot area from 7,500 sq. ft. to 3,948 sq. ft., and the front setback from 30 feet to 20 feet for the eighteen single-family attached residential lots.
3. Waiver to the average width of a triplex building from 110 feet to 105 feet.

Conditions of Approval:

1. All applicable requirements of the *Zoning Ordinance* and *Subdivision & Development Regulations*.
2. Any revisions or amendments to the approved Preliminary Subdivision Plat shall be reviewed and approved by the Planning Commission staff (minor) or by the Planning Commission (major).
3. Prior to (as part of) the Final Subdivision Plat approval, the applicant shall provide the Planning Commission staff (GIS division) with a digital copy of the approved plat.
4. This Preliminary Subdivision Plat approval is valid for two years, subject to the requirements of Article 306 section A of the *Subdivision and Development Regulations*.
5. All requirements of GMWSS regarding sanitary sewer services.
6. All requirements of Georgetown Fire Department.
7. Prior to Final Subdivision Plat approval providing the City Engineer with a street lighting plan in accordance with the adopted ordinance.
8. HOA documents shall be submitted for review and be recorded with the Final Subdivision Plat.
9. There shall be no grading or construction on the site until required plans (i.e., drainage plans) including Construction Plans and Final Development Plans have been reviewed and approved by all parties and agencies.
10. The Applicant shall make the connection and improvements to Old Oxford Road as part of this phase of development in accordance with the previous phases agreed upon conditions and Article X of the *Georgetown-Scott County Subdivision and Development Regulations*. The connections and improvements to Old Oxford Road shall be completed prior to the recording of the final subdivision plat.



- DEVELOPMENT NOTES:**
1. ALL APPLICABLE REQUIREMENTS OF THE SUBDIVISION REGULATIONS SHALL BE MET.
 2. ALL REQUIREMENTS OF GEORGETOWN MUNICIPAL WATER AND SANITARY SEWER SHALL BE MET FOR SERVICE.
 3. LANDSCAPING SHALL CONFORM TO THE GEORGETOWN-SCOTT COUNTY ZONING ORDINANCE PERTAINING TO THE REQUIREMENTS FOR R-3 (PUD) ZONING.
 4. CONSTRUCTION DOCUMENTS MUST BE APPROVED PRIOR TO ANY CONSTRUCTION.
 5. UTILITY LOCATIONS SHOWN ARE SUBJECT TO FURTHER REVIEW BY UTILITY COMPANIES AND SHALL BE REVISED AT THEIR DIRECTION ON FINAL SUBDIVISION PLAN.
 6. FIRE HYDRANT LOCATIONS TO BE APPROVED BY THE GEORGETOWN FIRE DEPARTMENT PRIOR TO APPROVAL OF FINAL SUBDIVISION PLAN.
 7. LOTS BACKING UP TO A DETENTION AREA SHALL HAVE A MINIMUM FINISHED FLOOR ELEVATION 2 HIGHER THAN FLOOD STAGE. THIS WILL BE DENOTED ON FINAL SUBDIVISION PLANS.
 8. STREET LIGHT LAYOUT AND BOND IS REQUIRED WITH CITY ENGINEER PRIOR TO FINAL SUBDIVISION PLAN APPROVAL. TRENCHING AND CONDUIT WILL BE PROVIDED BY THE DEVELOPER FOR INSTALLATION OF STREET LIGHTS.
 9. ACCESS SHALL BE LIMITED AS INDICATED ON THIS PLAN.
 10. STORM SEWERS AND STORM SEWER RETENTION BASINS SHALL MEET THE SPECIFICATIONS AND APPROVAL OF THE PLANNING COMMISSION ENGINEER.
 11. ALL AREAS THAT HAVE BEEN DISTURBED BY GRADING SHALL HAVE TEMPORARY VEGETATIVE COVER PROVIDED. SUCH COVER SHALL CONSIST OF ANNUAL GRASSES OR SMALL GRAINS. SLOPES EXCEEDING 4:1 SHALL HAVE ADDITIONAL PROTECTION OF ADEQUATE MULCHING OR SOG IN ORDER TO PREVENT EROSION.
 12. ANY FURTHER FINAL DEVELOPMENT PLAN OR FINAL SUBDIVISION PLAN APPROVALS FOR MULTI-FAMILY UNITS IN THE MULTI-FAMILY AREA OF CHERRY BLOSSOM WILL NOT BE PERMITTED BEYOND 100 UNITS ON A SINGLE PUBLIC ACCESS UNTIL CONNECTION TO AND IMPROVEMENTS TO OLD OXFORD ROAD ALONG THE SUBDIVISION FRONTAGE ARE CONSTRUCTED AS PER ARTICLE X OF THE GEORGETOWN-SCOTT COUNTY SUBDIVISION AND DEVELOPMENT REGULATIONS.
 13. CLOSED CONTOURS EXIST IN THE AREA IF A SHINGLE IS ENCOUNTERED DURING CONSTRUCTION, A REPORT OF FINDINGS WILL BE SUBMITTED TO THE PLANNING COMMISSION ENGINEER FOR REVIEW AND APPROVAL. IF WARRANTED, A SHINGLE RELATED NON-BUILDING AREA(S) (SMBDA) WILL BE SHOWN. NO SWIMMING POOLS, HABITABLE STRUCTURES OR PROJECTIONS FROM THESE STRUCTURES SHALL ENDOUR INTO THESE AREAS. DRIVEWAY, SIDEWALKS, PATIOS, DETACHED DECKS OR GATEPOSTS WILL BE PERMITTED IN THESE AREAS, AS LONG AS THEY MEET S.C.P.C. CRITERIA AND DO NOT ALTER THE INTEGRITY OF THE DEPRESSION. APPROVAL OF THIS PLAN SHALL NOT BE INTERPRETED AS A GUARANTEE BY THE OWNER, ENGINEER OF RECORD, NOR S.C.P.C. THAT FURTHER GEOLOGIC ACTIVITY WILL OR WILL NOT OCCUR DUE TO EITHER NATURAL OR HUMAN ACTIVITY.

SITE STATISTICS:
 ZONE - R-3 (PUD)
 AREA - 9.80 ACRES
 NO. OF LOTS - 21 (6 TYP-PLEXED (10 SINGLE (FAMILY)))
 AREA OF R.O.S. - 1.86 ACRES
 TYPICAL LOT SIZE - 33 X 107
 LENGTH OF STREET - 1,348 LF
 DENSITY - 4.81 BUILDABLE LOTS/GROSS ACRE
 MINIMUM LOT SIZE - 3,300 SF
 SHALLOW LOT SIZE - 3,549 SF (LOT 1)
 LARGER LOT SIZE - 9,282 SF (LOT 6)
 CANOPY REQUIREMENT - 110 ACRES (20%)
 CANOPY PROPOSED - 110 ACRES (ALL PROPOSED PLANTINGS)

PURPOSE OF PLAN:
 TO REFLECT DEVELOPMENT OF 21 SINGLE FAMILY ATTACHED & DETACHED LOTS AND TO CONSTRUCT PUBLIC IMPROVEMENTS.

R-3 (PUD) REQUIREMENTS:
 MINIMUM LOT SIZE - 3,300 SF.
 MINIMUM LOT WIDTH - 33 LF.
 FRONT YARD - 20 LF.
 REAR YARD - 25 LF.
 SIDE YARD - 7.5 LF. (ON END UNITS ONLY)

CURVE	RADIUS	LENGTH	CHORD LENGTH	CHORD BEARING
C1	244.39	1.82	1.82	S87°02'19"E
C2	300.00	18.78	18.07	S77°49'56"E
C3	300.00	18.78	17.19	S86°58'17"E
C4	300.00	18.07	18.07	S45°48'59"E
C5	300.00	30.17	28.78	N80°02'33"E

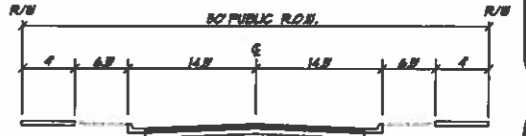
SOURCE OF CONTOURS: EA PARTNERS SURVEY, MARCH 2024

UTILITY EASEMENT DESCRIPTION:
 EASEMENTS GRANT AND CONVEY TO THE KENTUCKY UTILITY COMPANY (KUC) AND THE SANGER CABLE COMPANY (SC) OF KENTUCKY, INC. (SC) AND THEIR SUCCESSORS, ASSIGNS AND LESSEES THE RIGHT TO USE AND SERVICE AND ALL TRENCH STRUCTURES AND CONDUITS LOCATED ON THE EASEMENTS OR IN SUCH PROPERTY THEREIN THAT IN FUTURE THEY MAY INTERFERE WITH THE OPERATION AND MAINTENANCE OF SAID FACILITIES. NO BUILDING OR OTHER STRUCTURE SHALL BE SITED, AND NO LANDFILL OR DEPOSITATION OF OTHER CHARGE OR DEBRIS IN EXCESS OF 6" SHALL BE PERMITTED UPON SAID EASEMENT AFTER INSTALLATION OF FACILITIES BY KUC. SAID GRANTED THAT THE RIGHT OF EASEMENT AND CONVEY BE GRANTED TO THE USE OF THE SAID EASEMENT AS REQUIRED TO CONSTRUCT, OPERATE, MAINTAIN, REPLACE AND REPAIR FACILITIES WITH SAID EASEMENTS.

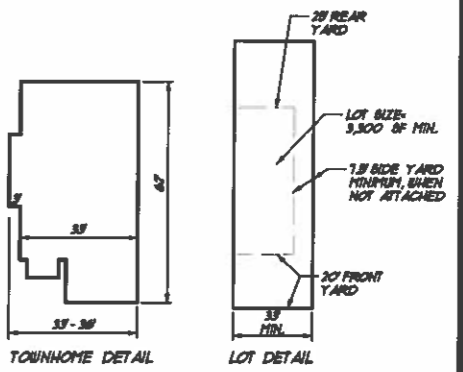
DRAINAGE EASEMENT DESCRIPTION:
 DRAINAGE EASEMENTS GRANT EASEMENTS AND ACCESS RIGHTS FOR MAINTENANCE OF SUCH FACILITIES, NO CHANNEL, ALTERATION OR CONSTRUCTION THAT WOULD OBSTRUCT THE FLOW OF WATERSHED IS ALLOWED. THERE SHALL BE NO STORAGE OR CONTROL OF WATERSHED, TRENCHES, OR OTHER POTENTIAL OBSTRUCTIONS THAT MAY RUN INTO WATERSHED CHANNELS.
 PROPERTY OWNERS ARE RESPONSIBLE FOR MAINTENANCE OF THE DRAINAGE EASEMENTS ON THEIR PROPERTY. NEIGHBORLY PROPERTY OWNERS ARE NOT RESPONSIBLE FOR MAINTENANCE OF THE DRAINAGE EASEMENT.

CERTIFICATION OF OWNERSHIP AND DEDICATION:
 I, THE UNDERSIGNED, HEREBY CERTIFY THAT I AM (WE ARE) THE OWNER(S) OF THE PROPERTY SHOWN HEREON AND I (WE) HEREBY ADOP THIS PLAN/PLAN OF THE DEVELOPMENT WITH MY (OUR) FREE CONSENT, WITHIN THE PROVISIONS OF THE SUBDIVISION AND SCOTT COUNTY ZONING REGULATIONS, WITH THE EXCEPTION OF SUCH VARIANCES IF ANY, AS ARE NOTED IN THE MARGINS OF THIS PLAN. I (WE) HEREBY CERTIFY THAT I (WE) HEREBY AGREE TO CONVEY TO THE PLANNING COMMISSION THE PUBLIC OPEN SPACE FOR PRIVATE USE AS SHOWN IN ACCORDANCE WITH THE GEORGETOWN-SCOTT COUNTY SUBDIVISION AND DEVELOPMENT REGULATIONS, UNLESS OTHERWISE NOTED.

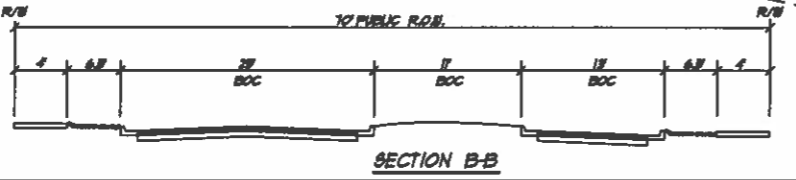
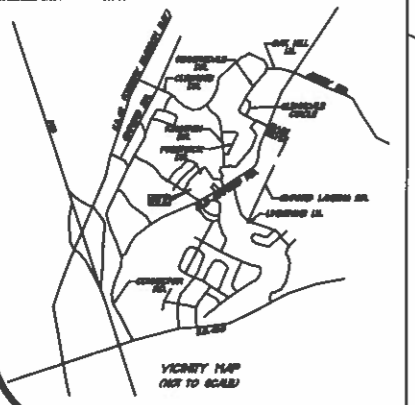
CERTIFICATION OF PRELIMINARY PLAN APPROVAL:
 I HEREBY CERTIFY THAT THE PRELIMINARY SUBDIVISION PLAN SHOWN HEREON HAS BEEN FOUND TO CONFORM WITH THE SUBDIVISION AND DEVELOPMENT REGULATIONS FOR GEORGETOWN AND SCOTT COUNTY, KENTUCKY, WITH THE EXCEPTION OF SUCH VARIANCES IF ANY, AS ARE NOTED IN THE MARGINS OF THIS PLAN. I HEREBY CERTIFY THAT I (WE) HEREBY AGREE TO CONVEY TO THE PLANNING COMMISSION THE PUBLIC OPEN SPACE FOR PRIVATE USE AS SHOWN IN ACCORDANCE WITH THE GEORGETOWN-SCOTT COUNTY SUBDIVISION AND DEVELOPMENT REGULATIONS, UNLESS OTHERWISE NOTED.



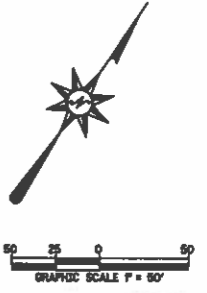
SECTION A-A (PARKING ON ONE SIDE PERMITTED)



TOWNHOME DETAIL LOT DETAIL



SECTION B-B



OWNER:
 GOLF TOWNHOMES OF CHERRY BLOSSOM, LLC
 400 ANDOVER VILLAGE PL.
 LEONINGTON, KY, 40309

EA Partners, PLLC
 CIVIL ENGINEERS - LAND SURVEYORS - LANDSCAPE ARCHITECTS
 3111 WALL STREET
 LEONINGTON, KENTUCKY 40309
 PHONE: (606) 298-7887

PRELIMINARY SUBDIVISION PLAN
 GOLF TOWNHOMES OF CHERRY BLOSSOM
 PHASE 7
 GEORGETOWN, SCOTT COUNTY, KENTUCKY

DRAWN: LLW
 DATE: 03/01/24
 CHECKED: LLW
 REVISED: 05/29/24

SHEET
 P&P-2024-19

CERTIFICATION OF UTILITY EASEMENT DESCRIPTION

BARBERS GRANT AND CONVEY TO THE KENTUCKY UTILITY COMPANY, COLUMBIA GAS OF KENTUCKY, INC. SOUTH CENTRAL BELL GEORGIA POWER FEDERAL WATER, A SEWER SERVICE (SEWER), OTHER SUCCESSORS, ASSIGNS, AND LESSEES, THE RIGHT TO TREAT OR REMOVE ANY AND ALL TRASH, STRUCTURES AND OBJECTS LOCATED ON THE EASEMENTS OR IN SUCH PROPERTY THEREON THAT BY FALLING THEREON FROM INTERFERE WITH OPERATION AND MAINTENANCE OF SAID FACILITY, NO BUILDING OR OTHER STRUCTURE SHALL BE ERRECTED, AND NO LANDFILL OR EXCAVATION OR OTHER CHANGE OF FACILITY SHALL BE PERFORMED ON THE SAID EASEMENT AFTER INSTALLATION OF FACILITY, THE RIGHT OF BURIAL AND BURIAL IS HEREBY GRANTED TO MEMBERS OF THE UTILITY BARBERS GRANT AND LESSEES, ALL LOT LINES NOT HAVING AN EASEMENT INDICATED SHALL HAVE BARBERS GRANT THEREON.

DATE _____
OWNER _____

DRAINAGE EASEMENT DESCRIPTION

DRAINAGE EASEMENTS CONTAIN EASEMENTS AND ACCESS RIGHTS FOR MAINTENANCE OF SUCH FACILITIES, NO CHANGES, ALTERATION OR CONSTRUCTION THAT WOULD OBSTRUCT THE FLOW OF SEWERAGE IS ALLOWED. THERE SHALL BE NO STORAGE OR DEPOSITION OF GRASS CLIPPINGS, TRASH, DEBRIS, OR OTHER POTENTIAL OBSTRUCTIONS THAT MAY BLOCK INTO SEWERAGE CHANNELS.

PROPERTY OWNERS ARE RESPONSIBLE FOR MAINTENANCE OF THE DRAINAGE EASEMENTS ON THEIR PROPERTY. INDIVIDUAL PROPERTY OWNERS ARE NOT RESPONSIBLE FOR MAINTENANCE OF THE DRAINAGE EASEMENT.

CERTIFICATION OF OWNERSHIP AND DEDICATION

I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I HEREBY ACCEPT THIS PLAN OF THE DEVELOPMENT WITH MY FOUR PER CENT INTEREST IN THE EASEMENTS, CONVEYANCE AND SERVICE IS CONTINGENT UPON THE DEVELOPER OBTAINING A CURRENT APPROVED AVAILABILITY OF CAPACITY REPORT FROM THE SEWER BOARD OF GEORGETOWN AND SEWER BOARD AND APPROVAL OF ALL PLANS AND SPECIFICATIONS FOR PROPOSED CHASE AND OFF-SITE SEWER COLLECTION SYSTEMS NOT LIMITED TO GRADITY AND FORCE MAIN, SANITARY SEWER LINES, PUMP STATIONS, AND RELATED APPURTENANCES FOR THE PROPOSED SYSTEM. CONSTRUCTION OF THE PROPOSED SANITARY SEWER COLLECTION AND CONVEYANCE SYSTEM SHALL BE AT THE COST OF THE DEVELOPER. BIDDING INFORMATION BY OWNER AND CONTRACTED ACCORDING TO SEWER AND KENTUCKY DIVISION OF SEWER APPROVED PLANS AND SPECIFICATIONS. BARBERS GRANT REQUIRED FOR THE PROPOSED SANITARY SEWER COLLECTION AND CONVEYANCE SYSTEM SHALL BE OBTAINED BY THE DEVELOPER AND DEDICATED TO SEWER.

DATE _____
SIGNATURE OF OWNER OR OWNER _____

CERTIFICATION OF PRELIMINARY PLAN APPROVAL

I HEREBY CERTIFY THAT THE PRELIMINARY DEVELOPMENT PLAN SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION AND DEVELOPMENT REGULATIONS FOR GEORGETOWN AND SCOTT COUNTY, KENTUCKY, WITH THE EXCEPTION OF SUCH VARIANCES, IF ANY, AS ARE NOTED IN THE FINDINGS OF THE PLANNING COMMISSION. THIS APPROVAL DOES NOT CONSTITUTE APPROVAL TO BEGIN CONSTRUCTION OR OBTAIN A BUILDING PERMIT.

DATE _____
CHAIRMAN, GEORGETOWN-SCOTT COUNTY PLANNING COM. _____

CERTIFICATION OF THE PROVISION OF SEWER ONLY

I HEREBY CERTIFY THAT GEORGETOWN MUNICIPAL WATER & SEWER SERVICE (SEWER) BY AND THROUGH THE CITY OF GEORGETOWN, KY, HAS FACILETS WITH THE SANITARY SEWER COLLECTION SYSTEM TO SUPPLY THE PROPERTY LOCATED IN GOLF TOWNHOMES OF CHERRY BLOSSOM WITH SANITARY SEWER SERVICE. PROVISION OF DEVELOPMENT, CONSTRUCTION, AND SERVICE IS CONTINGENT UPON THE DEVELOPER OBTAINING A CURRENT APPROVED AVAILABILITY OF CAPACITY REPORT FROM THE SEWER BOARD OF GEORGETOWN AND SEWER BOARD AND APPROVAL OF ALL PLANS AND SPECIFICATIONS FOR PROPOSED CHASE AND OFF-SITE SEWER COLLECTION SYSTEMS NOT LIMITED TO GRADITY AND FORCE MAIN, SANITARY SEWER LINES, PUMP STATIONS, AND RELATED APPURTENANCES FOR THE PROPOSED SYSTEM. CONSTRUCTION OF THE PROPOSED SANITARY SEWER COLLECTION AND CONVEYANCE SYSTEM SHALL BE AT THE COST OF THE DEVELOPER. BIDDING INFORMATION BY OWNER AND CONTRACTED ACCORDING TO SEWER AND KENTUCKY DIVISION OF SEWER APPROVED PLANS AND SPECIFICATIONS. BARBERS GRANT REQUIRED FOR THE PROPOSED SANITARY SEWER COLLECTION AND CONVEYANCE SYSTEM SHALL BE OBTAINED BY THE DEVELOPER AND DEDICATED TO SEWER.

DATE _____
GENERAL MANAGER _____

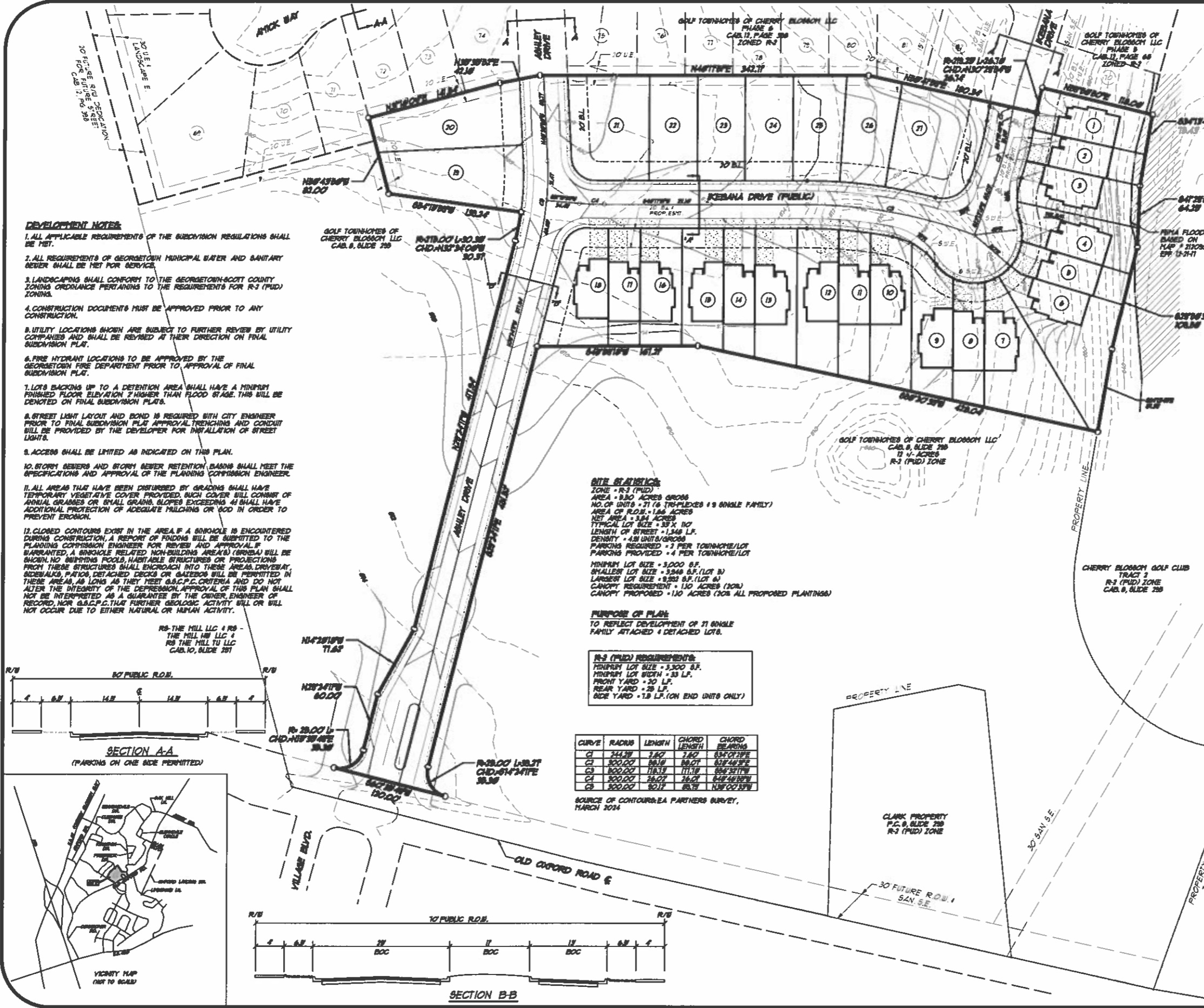
OWNER
GOLF TOWNHOMES OF CHERRY BLOSSOM, LLC AND ANDOVER VILLAGE PL, LEDINGTON, KY, 40008

EA Partners, PLLC
CIVIL ENGINEERS & LAND SURVEYORS & LANDSCAPE ARCHITECTS
3111 WALL STREET
LEWISTON, KY 40045
PHONE: (606) 256-0000
FACSIMILE: (606) 256-0007

PRELIMINARY DEVELOPMENT PLAN
GOLF TOWNHOMES OF CHERRY BLOSSOM
PHASE 7
GEORGETOWN, SCOTT COUNTY, KENTUCKY

DRAWN LLW
DATE 03/01/24
CHECKED
REVISED 05/29/24

SHEET
PDF-2024-16



DEVELOPMENT NOTES

1. ALL APPLICABLE REQUIREMENTS OF THE SUBDIVISION REGULATIONS SHALL BE MET.
2. ALL REQUIREMENTS OF GEORGETOWN MUNICIPAL WATER AND SANITARY SEWER SHALL BE MET FOR SERVICE.
3. LANDSCAPING SHALL CONFORM TO THE GEORGETOWN-SCOTT COUNTY ZONING ORDINANCE PERTAINING TO THE REQUIREMENTS FOR R-3 (FUD) ZONING.
4. CONSTRUCTION DOCUMENTS MUST BE APPROVED PRIOR TO ANY CONSTRUCTION.
5. UTILITY LOCATIONS SHOWN ARE SUBJECT TO FURTHER REVIEW BY UTILITY COMPANIES AND SHALL BE REVEALED AT THEIR DIRECTION ON FINAL SUBDIVISION PLAN.
6. FIRE HYDRANT LOCATIONS TO BE APPROVED BY THE GEORGETOWN FIRE DEPARTMENT PRIOR TO APPROVAL OF FINAL SUBDIVISION PLAN.
7. LOTS BACKING UP TO A DETENTION AREA SHALL HAVE A MINIMUM FINISHED FLOOR ELEVATION 2 HIGHER THAN FLOOD STAGE. THIS WILL BE DENOTED ON FINAL SUBDIVISION PLAN.
8. STREET LIGHT LAYOUT AND BOND IS REQUIRED WITH CITY ENGINEER PRIOR TO FINAL SUBDIVISION PLAN APPROVAL. TRENCHING AND CONDUIT WILL BE PROVIDED BY THE DEVELOPER FOR INSTALLATION OF STREET LIGHTS.
9. ACCESS SHALL BE LIMITED AS INDICATED ON THIS PLAN.
10. STORM SEWERS AND STORM SEWER RETENTION BASINS SHALL MEET THE SPECIFICATIONS AND APPROVAL OF THE PLANNING COMMISSION ENGINEER.
11. ALL AREAS THAT HAVE BEEN DISTURBED BY GRADING SHALL HAVE TEMPORARY VEGETATIVE COVER PROVIDED. SUCH COVER WILL CONSIST OF ANNUAL GRASSES OR SMALL GRAINS, SLOPES EXCEEDING 4:1 SHALL HAVE ADDITIONAL PROTECTION OF ADEQUATE MULCHING OR LOGS IN ORDER TO PREVENT EROSION.
12. CLOSED CONTOURS EXIST IN THE AREA IF A SNOWHOLE IS ENCOUNTERED DURING CONSTRUCTION, A REPORT OF FINDINGS WILL BE SUBMITTED TO THE PLANNING COMMISSION ENGINEER FOR REVIEW AND APPROVAL. IF GUARANTEED, A SNOWHOLE RELATED NON-BUILDING AREA(S) (BROWNA) WILL BE SHOWN. NO SWIMMING POOLS, HABITABLE STRUCTURES OR PROJECTIONS FROM THESE STRUCTURES SHALL ENDOUR INTO THESE AREAS. DRIVEWAY, SIDEWALK, PATIOS, DETACHED DECKS OR GAZEBOS WILL BE PERMITTED IN THESE AREAS, AS LONG AS THEY MEET S.B.C.P.C. CRITERIA AND DO NOT ALTER THE INTEGRITY OF THE DEPRESSION. APPROVAL OF THIS PLAN SHALL NOT BE INTERPRETED AS A GUARANTEE BY THE OWNER, ENGINEER OF RECORD, NOR S.B.C.P.C. THAT FURTHER GEOLGIC ACTIVITY WILL OR WILL NOT OCCUR DUE TO EITHER NATURAL OR HUMAN ACTIVITY.

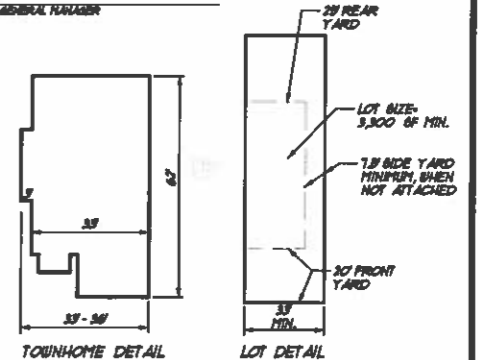
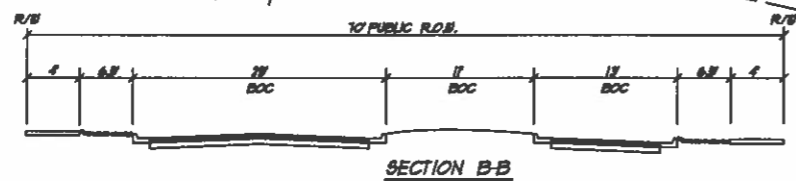
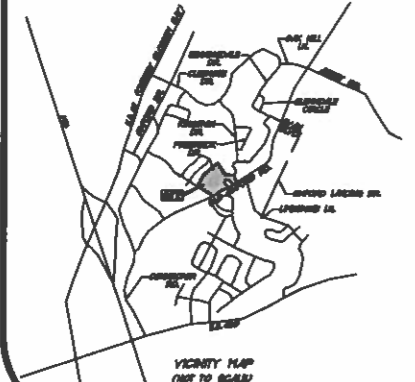
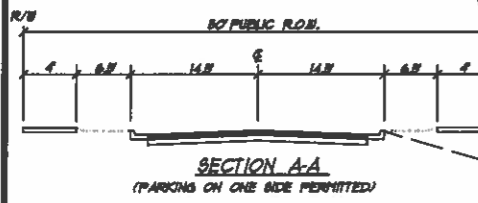
SITE STATISTICS
ZONE - R-3 (FUD)
AREA - 9.30 ACRES GROSS
NO. OF UNITS - 21 (6 TRI-PLEXES + 15 SINGLE FAMILY)
AREA OF P.D.M. - 1.66 ACRES
NET AREA - 1.84 ACRES
TYPICAL LOT SIZE - 33' X 10'
LENGTH OF STREET - 1,348 LF.
DENSITY - 4.8 UNITS/ACRES
PARKING PROVIDED - 4 PER TOWNHOME/LOT
MINIMUM LOT SIZE - 3,000 SF.
SMALLEST LOT SIZE - 3,348 SF. (LOT 1)
LARGEST LOT SIZE - 9,302 SF. (LOT 6)
CANOPY REQUIREMENT - 110 ACRES (20%)
CANOPY PROPOSED - 110 ACRES (20% ALL PROPOSED PLANTINGS)

PURPOSE OF PLAN
TO REFLECT DEVELOPMENT OF 21 SINGLE FAMILY ATTACHED & DETACHED LOTS.

R-3 (FUD) REQUIREMENTS:
MINIMUM LOT SIZE - 3,300 SF.
MINIMUM LOT BREADTH - 33 LF.
FRONT YARD - 30 LF.
REAR YARD - 25 LF.
SIDE YARD - 1.5 LF. (ON END UNITS ONLY)

CURVE	RADIUS	LENGTH	CHORD LENGTH	CHORD BEARING
C1	244.28	7.60	7.60	83° 07' 15"
C2	300.00	16.16	16.07	83° 44' 35"
C3	300.00	116.13	111.18	85° 32' 15"
C4	300.00	26.07	26.07	84° 48' 00"
C5	300.00	80.17	80.18	108° 02' 50"

SOURCE OF CONTOURS: EA PARTNERS SURVEY, MARCH 2024



CHERRY BLOSSOM DEVELOPMENT TRACT 7-B R-3 (FUD) ZONE

CLARK PROPERTY P.C. & SLIDE 218 R-3 (FUD) ZONE

30 FUTURE R.O.W. 52' N. 52' E.

30' 9.24' S.E.

PROPERTY LINE / ZONE LINE

PROPERTY LINE

GRAPHIC SCALE 1" = 50'

**WOODLAND AIRSTREAM PROPERTY SUBDIVISION
PRELIMINARY SUBDIVISION PLAT**

**Staff Report to the Georgetown-Scott County Planning Commission
June 13, 2024**

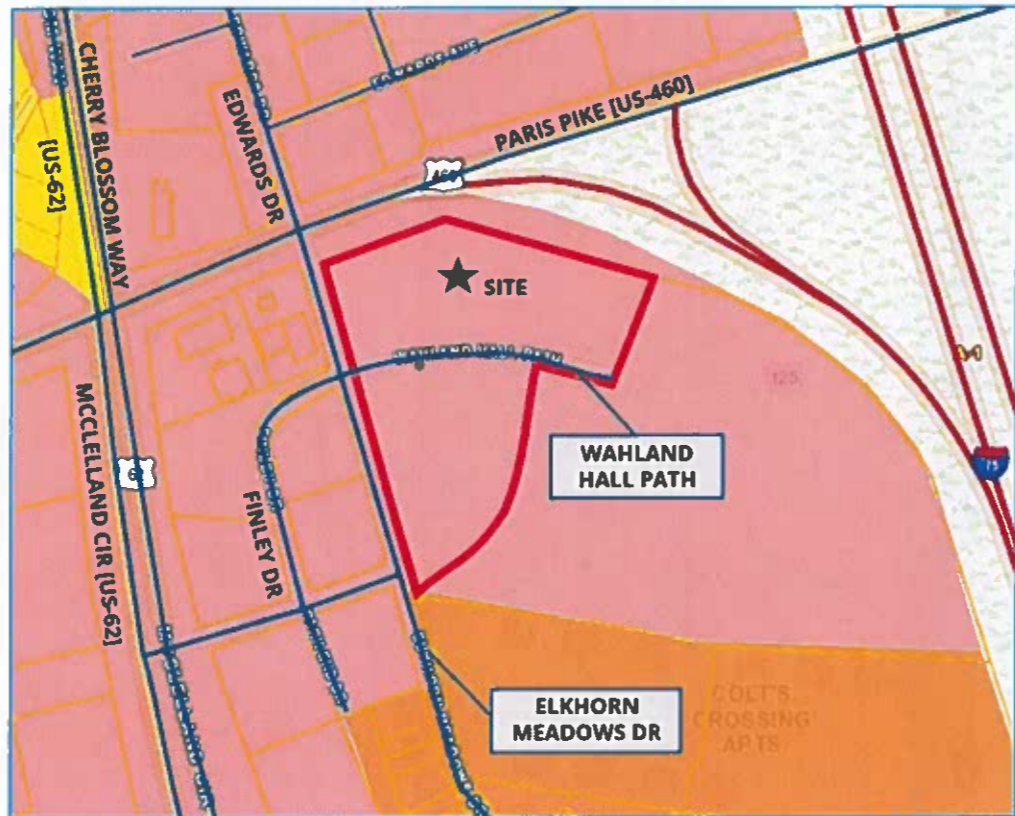
FILE NUMBER: PSP-2024-24

PROPOSAL: Preliminary Subdivision Plat for the subdivision of a 6.27-ac commercial zoned parcel into two lots

LOCATION: 120 Wahland Hall Path

OWNER: Lexington Airstream Properties, LLC

CONSULTANT: Eric Shelton, Keith Holz, & Joey Black, OHM Advisors



STATISTICS:	
Existing Zone	B-2 (Highway Commercial)
Surrounding Zone(s)	B-2: North, South, East & West R-3 (High Density Residential): South
Site Acreage	6.27 ac (Tract 1: 3.51 ac & Tract 2: 2.75 ac)
Access	Elkhorn Meadows Drive to McClelland Circle/Cherry Blossom Way [US-62] or Paris Pike [US-460]
Setbacks	50' front, 0' side, 0' rear

BACKGROUND: The Project Site is a 6.27-acre parcel, zoned B-2, that received preliminary and final development plan approval for a 12,123 SF Airstream dealership and service center with display area and staff and guest

parking. The purpose of the subdivision is to split the lot along Wahland Hall Path, creating two lots (Tract 1 and 2), one for the Airstream dealership on the 3.51-acre north parcel (Tract 2), and the other as a remainder on the 2.75-acre south parcel.

SITE LAYOUT:

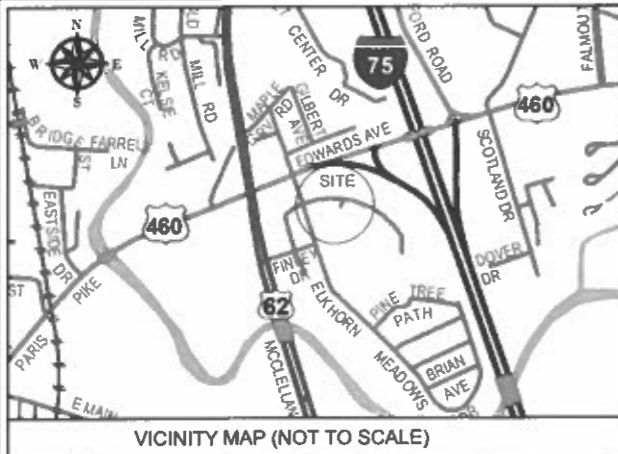
The proposed lots will both be accessed from Wahland Hall Path, a privately maintained road. Maintenance of the road would be the responsibility of the users of the road. The lots meet the minimum lot size, width, and setbacks for the B-2 zoning district. All utilities providers will be required to sign the final plat, and the Applicant will need to verify that all proper utility easements are shown prior to signing the final plat.

RECOMMENDATION:

Staff recommends the Planning Commission recommend **Approval** of the Preliminary Subdivision Plat. Should the Planning Commission recommend approval, staff suggests adding the following conditions of approval.

Conditions of Approval:

1. All applicable requirements of the *Zoning Ordinance and Subdivision & Development Regulations*.
2. Any revisions or amendments to the approved Preliminary Development Plan shall be reviewed and approved by the Planning Commission staff (minor) or by the Planning Commission (major).
3. Prior to (as part of) the Final Subdivision Plat approval, the applicant shall provide the Planning Commission staff (GIS division) with a digital copy of the approved plan.
4. This Preliminary Subdivision Plat approval is valid for two years, subject to the requirements of Article 406 section A of the *Subdivision and Development Regulations*.



LEGEND

- IRON PIN (FOUND-NOTED)
- CONCRETE MONUMENT (FOUND-NOTED)
- IRON PIN (SET)
- 1/2" IRON PIN, 12" IN LENGTH WITH YELLOW CAP LABELED "OHM ADVISORS"
- PIPE
- POST
- MAILBOX
- WATER VALVE
- POWER/UTILITY POLE
- WATER METER
- LIGHT POLE/YARD LIGHT
- CLEAN OUT
- STORM DRAIN INLET
- STORM MANHOLE
- SANITARY MANHOLE
- FIRE HYDRANT
- GUY WIRE ANCHOR
- YARD DRAIN
- IRRIGATION CONTROL VALVE
- SIGN
- ELECTRICAL BOX
- GAS METER
- GAS VALVE
- ELECTRIC METER
- SUBJECT PROPERTY LINE
- - - ADJOINING PROPERTY LINE
- - - EASEMENT
- - - FENCE
- - - SANITARY SEWER LINE
- - - OVERHEAD ELECTRIC LINE
- - - UNDERGROUND GAS LINE
- - - STORM SEWER LINE
- - - WATER LINE
- - - M.B.S.L. (MINIMUM BUILDING SETBACK LINE)
- ASPHALT

SITE INFORMATION

AREA:	ORIGINAL	8.26 ACRES± OR 272,789 FT²
	TRACT 1	3.51 ACRES± OR 153,095 FT²
	TRACT 2	2.75 ACRES± OR 119,894 FT²
ZONING:	TRACT 1 AND TRACT 2	B-2 (BUSINESS COMMERCIAL)
SETBACKS:		
	FRONT	50'
	SIDE	0'
	REAR	0'

CERTIFICATION OF AVAILABILITY OF UTILITY SERVICES

I hereby certify that KENTUCKY UTILITIES shall supply the WOODLAND AIRSTREAM PROPERTY with electric services and that the proposed utility easements of said development meet the requirements of this agency and all other applicable requirements.

COLUMBIA GAS OF KY CERTIFICATION

I HEREBY CERTIFY THAT COLUMBIA GAS OF KENTUCKY, INC. SHALL SUPPLY, WHERE ECONOMICALLY FEASIBLE, THE PROPOSED DEVELOPMENT AT WAHLAND HALL PATH WITH GAS SERVICES AND THAT THE PROPOSED UTILITY EASEMENTS OF SAID DEVELOPMENT MEET THE REQUIREMENTS OF THIS AGENCY AND ALL OTHER APPLICABLE REQUIREMENTS.

CERTIFICATION OF ACCURACY

I HEREBY CERTIFY THAT THE PLAN SHOWN AND DESCRIBED HEREON IS A TRUE AND CORRECT SURVEY TO THE ACCURACY REQUIRED BY THE GEORGETOWN-SCOTT COUNTY PLANNING COMMISSION AND THAT THE MONUMENTS HAVE BEEN PLACED AS SHOWN HEREIN TO THE SPECIFICATIONS OF THE PLANNING COMMISSION OR OTHER AUTHORIZED OFFICER.

DATE: 2024.05.27 20:13:51-04'00"
ERIC SHELTON PLS #4537



CERTIFICATE OF OWNERSHIP AND DEDICATION

I (WE) HEREBY CERTIFY THAT I AM (WE ARE) THE OWNER(S) OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I (WE) HEREBY ADOPT THIS PLAN/PLAN OF THE DEVELOPMENT WITH MY (OUR) FREE CONSENT, ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES, AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS, AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS SHOWN, IN ACCORDANCE WITH THE GEORGETOWN-SCOTT COUNTY SUBDIVISION AND DEVELOPMENT REGULATIONS, UNLESS OTHERWISE NOTED.

Owner: [Signature]
DATE: 5-28-24

PRIVATE STREET/ACCESS EASEMENT MAINTENANCE NOTE

The owner/owners of this property and any successors in title agree to assume full liability and responsibility for construction, maintenance, reconstruction, snow removal, cleaning or any other needs related to the private street/access easement shown on this development plan/plot. This agreement relieves the City of Georgetown/City of Stamping Ground/City of Sadieville/Scott County government from any such responsibilities. If the owner/owners request that the private street/access easement be dedicated as public streets, the owner/owners bear the full expense of any reconstruction required to comply with City/County standards prior to dedication and acceptance and all conditions outlined in SECTION 4, D have been met.

Owner: [Signature]

CERTIFICATION OF FIRE DEPARTMENT APPROVAL

I hereby certify that the development plan shown hereon has been reviewed and found to comply with the (insert either Georgetown or Scott County) Fire Department regulations, including any conditions of approval or exceptions, noted herein.

Date: _____
(Signature and title of Fire Dept. representative)

CERTIFICATION OF PROVISION OF WATER SERVICE

I hereby certify that Kentucky American has reviewed the plans and specs for the proposed water distribution system for WOODLAND AIRSTREAM PROPERTY, that the water distribution system of said development meets the requirements of this agency and all other requirements of the proper distribution of water, and that Kentucky American shall supply said development with water services.

Date: _____
General Manager: _____

CERTIFICATION OF GIS DEPARTMENT APPROVAL

I hereby certify that the development plan or subdivision plat shown has been reviewed and found to comply with the digital submittal requirements set forth in the Subdivision and Development Regulations.

Date: _____
GIS Analyst/Technician, Georgetown-Scott County Planning Commission

CERTIFICATION OF THE PROVISION OF SEWER ONLY

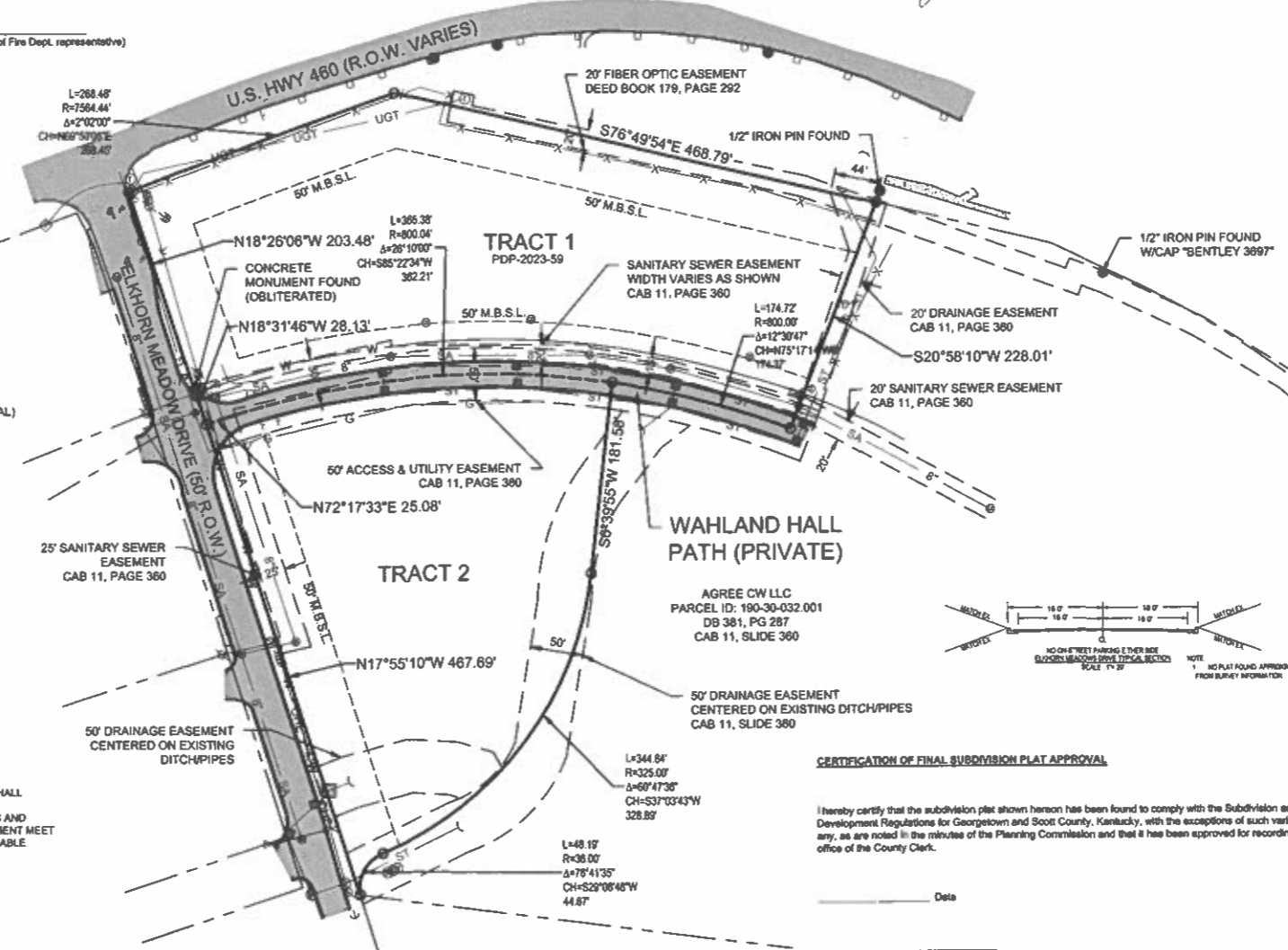
I hereby certify that Georgetown Municipal Water & Sewer Service (GMWSS), by and through the City of Georgetown, KY, has facilities within the sanitary sewer distribution collection system to supply the property located at WAHLAND HALL PATH with sanitary sewer service. Provision of development, construction, and service is contingent upon the developer obtaining a current approved Availability of Capacity Request from the GMWSS Board of Commissioners; and GMWSS review and approval of all plans and specifications for required on-site and off-site improvements including but not limited to gravity and force main sanitary sewer lines, pump stations, and related appurtenances for the proposed system. Construction of the proposed sanitary sewer collection and conveyance system shall be at the cost of the developer without reimbursement by GMWSS and conformed according to GMWSS and Kentucky Division of Water approved plans and specifications. Easements required for the proposed sanitary sewer collection and conveyance system shall be acquired by the developer and dedicated to GMWSS.

Date: _____
General Manager: _____

CERTIFICATION OF UTILITY EASEMENT DESCRIPTION

Easements grant and convey to the Kentucky Utility Company, South Central Bell, Georgetown Municipal Water & Sewer Service (GMWSS), their successors, assigns, and lessees, the right to trim or remove any and all trees, shrubs and obstacles located on the easements or in such proximity thereto that in falling they might interfere with operation and maintenance of said facility. No building or other structure shall be erected, and no landfill or excavation or other change of grade shall be performed, upon the said easement after installation of facilities. The right of ingress and egress is hereby granted to users of the utility easement as required to construct, operate, maintain and reinforce facilities within said easements. All lots lines not having an easement indicated will have 0' easements on them.

Date: 05/28/24
Owner: [Signature]



OHM ADVISORS
229 W MAIN ST
SUITE 305
FRANKFORT, KY 40601
502-537-7620

KENTUCKY GRID NORTH
HORIZONTAL DATUM = NAD83
VERTICAL DATUM = NAVD88

GRAPHIC SCALE 1" = 100'
100' 0 100'

- GENERAL NOTES:**
- PER FEMA WEBSITE ON MARCH 14, 2024 THIS PROPERTY LIES IN ZONE X PER FEMA (FEDERAL EMERGENCY MANAGEMENT AGENCY) MAP 21209C0183D, PANEL NOT PRINTED, EFFECTIVE DECEMBER 21, 2017.
 - NO TITLE REPORT FURNISHED TO THIS SURVEYOR. THEREFORE THIS SURVEY IS SUBJECT TO THE FINDINGS OF AN ACCURATE TITLE SEARCH.
 - SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS PART OF THIS SURVEY. NO STATEMENT IS MADE CONCERNING THE EXISTENCE OF UNDERGROUND OR OVERHEAD CONTAINERS OR FACILITIES THAT MAY AFFECT THE USE OR DEVELOPMENT OF THE PARCEL.
 - THIS SURVEY WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS, OR ENTITY, IF ANY, NAMED HEREON. THIS DOES NOT EXTEND TO ANY UNNAMED PERSON WITHOUT AN EXPRESS WRITTEN CONSENT BY THE SURVEYOR.
 - HEREON PROPERTY IS SUBJECT TO THE RESTRICTIONS AND REGULATIONS SET FORTH BY THE SCOTT COUNTY PLANNING COMMISSION.
 - RTK GPS POSITIONAL DATA WAS OBSERVED BETWEEN THE DATES 06/01/2023 AND 06/08/2023 UTILIZING A CARLSON BR7 MULTI-FREQUENCY RECEIVER. THE GRID COORDINATES SHOWN WERE DERIVED USING A VRS NETWORK OF CORS STATIONS REFERENCED TO NAD83 (2011) EPOCH 2010, GEOID 18. POSITIONAL ACCURACY OF THE GPS VECTORS DOES NOT EXCEED: H 0.04', V 0.06'.

**Final Subdivision Plat
Of The
Woodland Airstream Property
Georgetown, Scott County, Kentucky**

REVISION TABLE

1.	5/23/2024	PLANNING COMMENTS

SURVEY ORDERED BY: Woodland Airstream (John Gustafson)
PROPERTY ADDRESS: Wahlend Hall Path, Elkhorn Meadows Dr., and Paris Pike
Georgetown, KY 40324
PROPERTY OWNER: Laxington Airstream Properties LLC
8221 Graphic Drive NE
Belmont, Michigan 49306

DEED REFERENCE: DEED BOOK 340, PAGE 669
PLAT REFERENCE: PLAT SLIDE 1541
PARCEL ID: 190-30-032.00
Georgetown, Scott County, Kentucky
OHM PROJECT#: 4546-23-0010
DRAWN BY: ES DATE: 4/2/2024
FIELD WORK: TB DATE: 9/9/2023
SHEET 1 OF 1

CERTIFICATION OF FINAL SUBDIVISION PLAT APPROVAL

I hereby certify that the subdivision plat shown hereon has been found to comply with the Subdivision and Development Regulations for Georgetown and Scott County, Kentucky, with the exceptions of such variances, if any, as are noted to the minutes of the Planning Commission and that it has been approved for recording in the office of the County Clerk.

Date: _____
Chairman, Georgetown-Scott County Planning Comm.

PLAT NOTES:

- THE PURPOSE OF THE PLAT IS TO SUBDIVIDE TRACTS 1 AND 2.
- STRUCTURES LOCATED ADJACENT TO THE CLOSED CONTOUR OF A SINKHOLE OR ADJACENT TO AN IMMEDIATE SINKHOLE DRAINAGE AREA SHALL NOT BE PERMITTED TO HAVE A BASEMENT OR FIRST FLOOR ELEVATION LOWER THAN AN ELEVATION, USGS DATUM OR OTHER COMPARABLE SOURCE, TO BE DETERMINED ON A CASE-BY-CASE BASIS, SAID ELEVATION BEING AT LEAST TWO (2) FOOT ABOVE THE 100 YEAR 24-HOUR STORM EVENT (MAXIMUM) ASSUMING NO OUTFLOW FROM THE SINKHOLE. MINIMUM FLOOR ELEVATIONS FOR SUCH LOTS ARE REFERENCED AND SHOWN ON THE PLAT.

**150 MT. VERNON DRIVE PARKING EXPANSION
PRELIMINARY DEVELOPMENT PLAT**

**Staff Report to the Georgetown-Scott County Planning Commission
June 13, 2024**

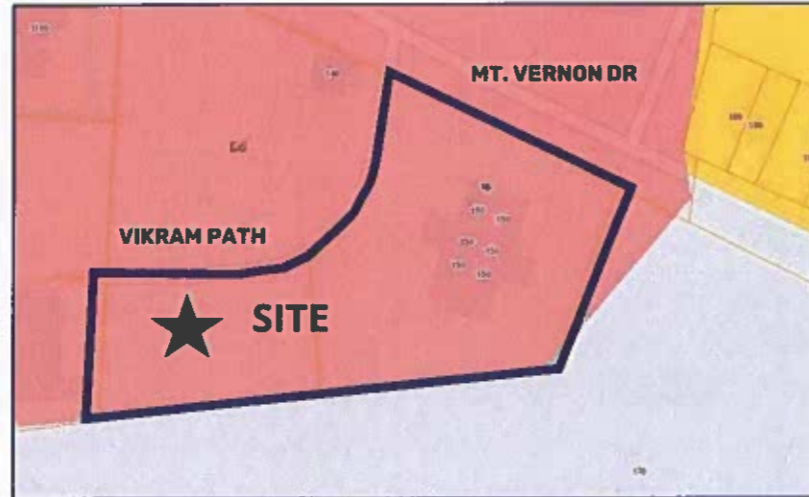
FILE NUMBER: PDP-2024-25

PROPOSAL: Preliminary Development Plan to expand existing parking / VUA by 24,888.90 sq. ft. for a total of 52,867.59 sq. ft. and 126 parking spaces.

LOCATION: 150 Mt. Vernon Drive

OWNER: Phillip H. Sewell II

CONSULTANT: Josh Cecil
NJL, LLC



STATISTICS:	
Existing Zone	B-2 (Highway Commercial)
Surrounding Zone(s)	B-2 (North & West) P-1 (South & East) R-2 (East)
Site Acreage	Tract 2B: 1.385 ac Tract 2C: 0.617 ac Total: 2.002 ac
Access	Mt. Vernon Drive and Vikram Path
Existing Use	Medical Offices
Proposed Use	Medical Offices
Existing Parking / VUA	
- Existing VUA	27,978.69 sq. ft.
- Number of Spaces	68 spaces
Proposed Parking / VUA Addition	
- Proposed Addition	24,888.90 sq. ft.
- Total Area of VUA After Addition	52,867.59 sq. ft.
- Total Number of Spaces After Addition	126 Spaces

BACKGROUND:

The Project Site was originally developed for use as medical offices in 2003 following the approval of PDP-2002-61 and the Final Development Plan which was accepted and recorded on April 2, 2003. Since then, there has been no further development on the site, nor any changes of use. The Project Site is zoned B-2 (Highway Commercial) and the existing and proposed uses are permitted by-right in the zoning district.

The Applicant is proposing to expand an existing 27,978.69 sq. ft. VUA with 68 parking spaces, by 24,888.90 sq. ft. and 58 parking spaces to a total of 52,867.59 sq. ft. VUA with 126 parking spaces. The Project Site has frontage on Mt. Vernon Drive (North), and Vikram Path (West).

The development plan proposes two parking / VUA additions. An additional 5,264.30 sq. ft. will be added to the currently developed parcel (Tract 2B), and 19,624.6 sq. ft. will be created on a vacant adjacent parcel (Tract 2C).

The Project Site is accessed by existing entrances from Mt. Vernon Drive and Vikram Path. The Applicant proposes a new entrance off Vikram Path onto Tract 2C. This new entrance/exit will provide easier, safer access to the site with multiple avenues of ingress/egress for general traffic and emergency services.

Parking:

Our Subdivision and Development Regulations mandate one parking space per employee, plus two spaces for each exam room for Medical Offices. As such, the required parking spaces for the project site are calculated thusly:

Floor 1: Currently unoccupied, estimated parking spaces needed – 42

Floor 2: 14 exam rooms, 16 employees – 44 spaces required.

Floor 3: 14 exam rooms, 12 employees – 40 spaces required.

Total Spaces Required: 126 to include 6 ADA spaces.

The proposed development plan indicates only the minimum required parking spaces (126) are being supplied. Staff does have concerns that an increase in number of employees or exam rooms in the building, or an unexpected volume of use for the currently unoccupied first floor may create a greater need for parking than is currently proposed. However, at the time of staff report writing, there is no proposed user for the first floor, though the Applicant has indicated they will supply documentation to notify any prospective tenant of the limitations.

Traffic:

Per ITE standards and guidance, a traffic study is required when a peak hour interval's trip count will increase to 100 or more trips due to expanded use. The peak hour trips both in the AM and PM intervals fall below the threshold as per information supplied by the applicant. As such, no traffic study is required for this proposed expansion.

Landscaping & Land Use Buffers:*Section 6.13: Vehicular Use Area Perimeter Requirements*

Any vehicular use area (VUA) on any property adjoining any property in any zone, except industrial or agricultural shall provide a minimum landscape buffer of: 5' to edge of pavement, where vehicles overhang; 4' minimum from edge of paving; and 3' (that prohibits any vehicular overhang) for other areas, on boundary of portion of vehicular use area that faces adjacent property. This buffer shall contain: 1 tree per 40' of boundary of vehicular use area, plus, a 3' average height continuous planting, hedge, fence, wall, or earth mound; or a 3' decrease in elevation from the adjoining property to the vehicular use area.

The Landscape Plan does show appropriate spacing, height and species for both trees and shrubs to create effective and compliant perimeter screening.

Section 6.22: Interior Landscaping for Vehicular Use Areas

VUA's greater than 6000 sq. ft. and/or 20 parking spaces must provide interior landscaping. For every 100 sq. ft. of VUA, 10 sq. ft. of interior landscaping must be provided. By this ratio, 5286.70 sq. ft. would be required. The applicant indicates they will provide 6113.83 sq. ft of interior landscaping, exceeding the minimum required.

Section 6.2215: Minimum Canopy Requirements

The current landscape plan proposes 33 new trees (21 "large", and 12 "medium") for a total of 20,500 sq. ft. of canopy coverage, both within the interior of the VUA, and along the perimeter. There will be nine trees (unidentified species) preserved as part of the preexisting VUA landscaping, amounting to 10,670.85 sq.ft. There will be 42 total trees on site, exceeding the minimum requirement of 22 (1 tree per every 250 sq.ft. of landscape area).

This brings the total canopy coverage on site to 31,170.85 sq. ft. This is equivalent to 35.7% of the total site area, well exceeding the required 22% coverage for commercial uses that are retaining a 10-15% site coverage before expansion.

Stormwater:

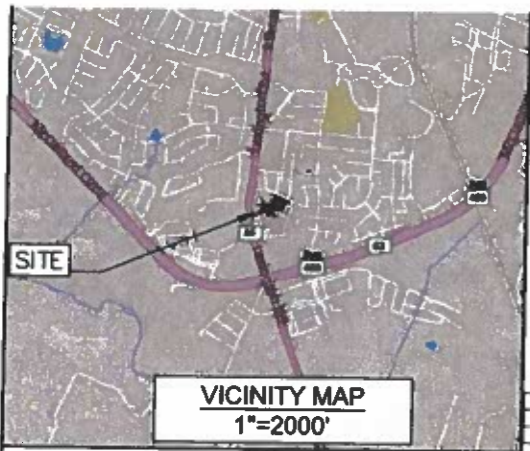
A Final Stormwater Management Plan must be submitted and approved by the Planning Commission Engineer meeting all requirements of the Georgetown Stormwater Manual prior to approval of the Final Development Plan.

RECOMMENDATION:

Staff recommends the Planning Commission recommend **Approval** of the Preliminary Development Plan. Should the Planning Commission recommend approval, staff suggests adding the following conditions of approval.

Conditions of Approval:

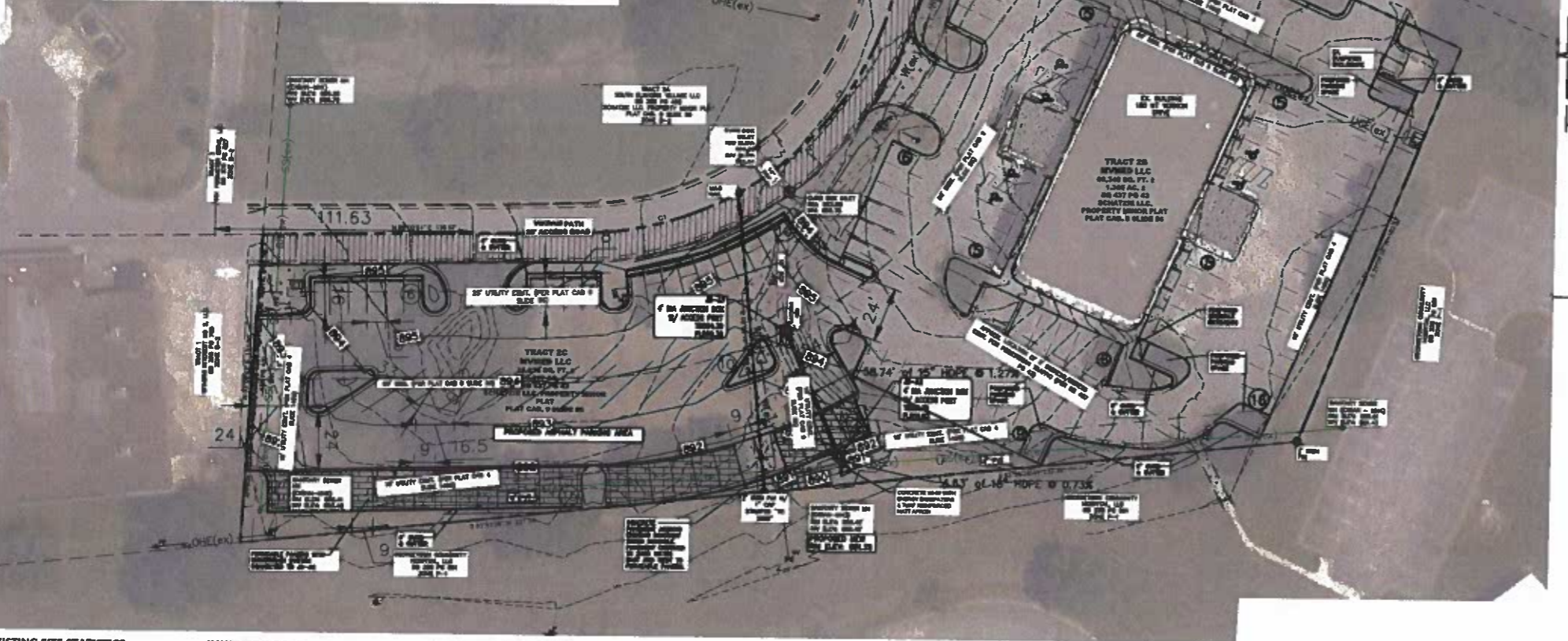
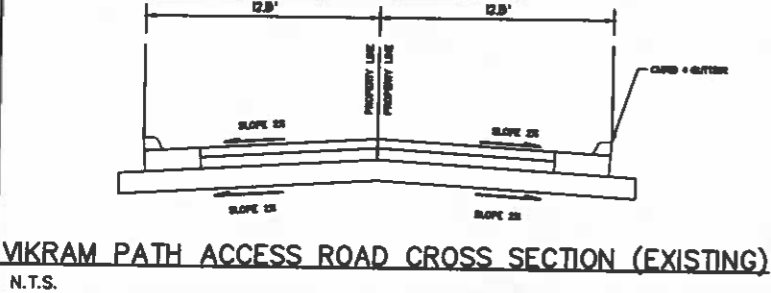
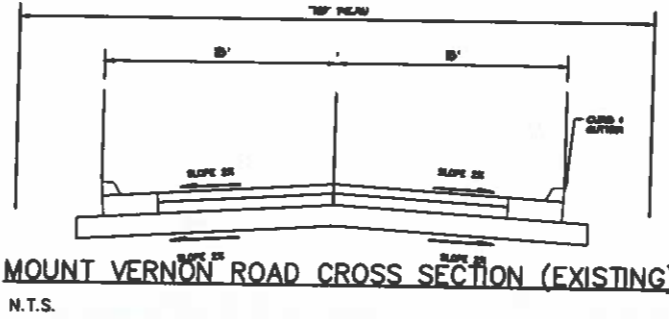
1. All applicable requirements of the *Zoning Ordinance and Subdivision & Development Regulations*.
2. Any revisions or amendments to the approved Preliminary Development Plan shall be reviewed and approved by the Planning Commission staff (minor) or by the Planning Commission (major).
3. Prior to (as part of) the Final Development Plan approval, the applicant shall provide the Planning Commission staff (GIS division) with a digital copy of the approved plan.
4. This Preliminary Development Plan approval is valid for two years, subject to the requirements of Article 406 section A of the *Subdivision and Development Regulations*.
5. The applicant shall be responsible for providing landscaping area and landscaping which meets the minimum requirements of the Landscape and Land Use Buffer Ordinance on the Final Development Plan. A specie-specific landscape plan shall be included with the Final Development Plan.
6. A Final Stormwater Management Plan must be submitted and approved by the Planning Commission Engineer prior to approval of the Final Development Plan. Development must meet all requirements of the Georgetown Stormwater Manual.
7. Prior to any construction or grading, a Final Development Plan, including all required construction plans, shall be approved by the Planning Commission staff and the applicant shall schedule a Pre-Construction Meeting with the Planning Commission Engineering Department to review construction policies and to establish inspection schedules. This includes a Grading Permit with fee and a Land Disturbance Permit with erosion control surety.
8. All applicable requirements of the Georgetown Fire Department.
9. All applicable requirements of Georgetown Municipal Water and Sewer Service.



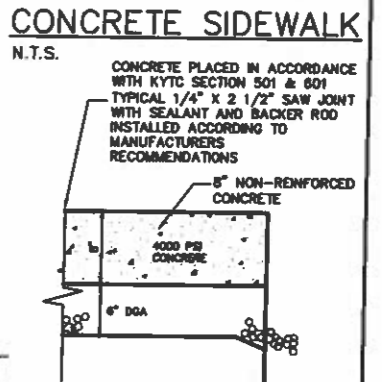
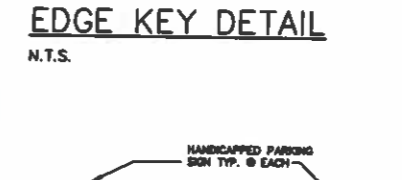
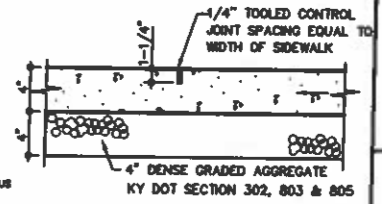
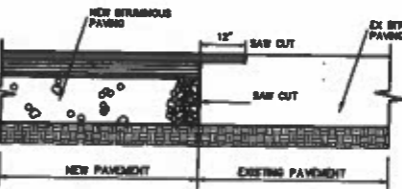
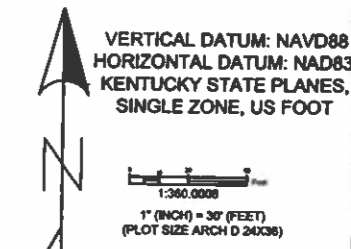
1. THE PROJECT IS NOT WITHIN THE ROYAL SPRING AQUIFER RECHARGE AREA.
2. THE PROPOSED DEVELOPMENT NOT INCREASE PEAK HOUR TRIPS BY MORE THAN 100.
3. NO EXISTING TREES TO BE REMOVED UNTIL A LANDSCAPING PLAN HAS BEEN APPROVED BY GEORGETOWN PLANNING DEPARTMENT STAFF. NO SINKHOLES HAVE BEEN IDENTIFIED ON THESE PARCELS.
4. MAINTENANCE OF VIKRAM PATH ACCESS ROAD IS BY THE RESPECTIVE ADJACENT PROPERTY OWNER.



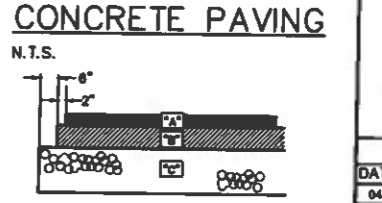
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	137.80'	89.00'	88.22'	N 74° 40' 17" E	28° 45' 10"
C2	137.80'	123.80'	119.88'	N 34° 30' 08" E	51° 35' 12"



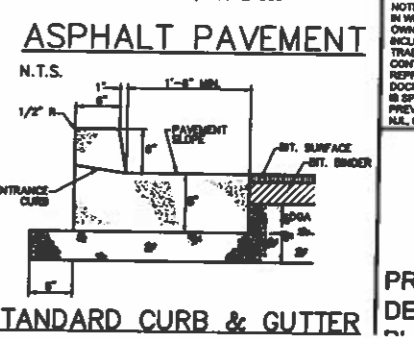
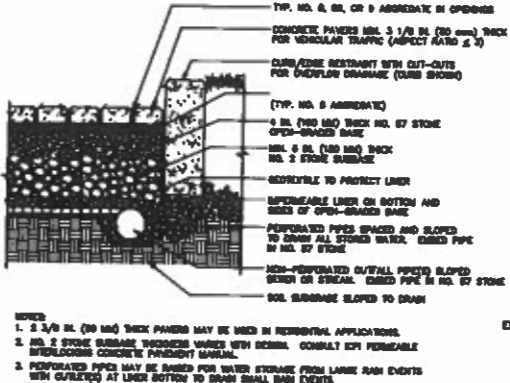
- IRON PIN FOUND
- IRON PIN SET
- IRON BOLLARD
- PIPE BOLLARD POST
- FIRE HYDRANT
- SIGN
- SIGNAL POLE
- UTILITY POLE
- GAS VALVE
- GAS METER
- WATER METER
- STAND PIPE
- WATER VALVE
- LIGHT POLE
- GUY WIRE
- SANITARY MANHOLE
- STORM MANHOLE
- ELECTRIC MANHOLE
- COMMUNICATIONS MANHOLE
- MAN BOX
- ELECTRIC TRANSFORMER
- ELECTRIC METER
- DECIDUOUS TREE
- CONIFEROUS TREE
- DROP BOX INLET
- DROP BOX INLET
- CURB BOX INLET
- COMMUNICATIONS PEDESTAL
- CLEAN OUT
- AC/VAC UNIT



- GENERAL NOTES:
1. CONCRETE
 - 1.1. CONCRETE (RIGID) PAVEMENT SHALL BE 4000 PSI AIR ENTRAINED (4-6%) PER THE SPECIFICATIONS.
 - 1.2. SAW CUTS SHALL BE A MAXIMUM 15' X 15' SPACING, 2 1/2" DEEP, 2" WIDTH.



- ASPHALT PAVEMENT
- A. 1.5" OF SURFACE
 - B. 2.5" OF BASE
 - C. 8" OF DGA
- GENERAL NOTES:
1. "A" BITUMINOUS SURFACE COURSE PER KYTC DIVISION 400
 2. "B" OF BITUMINOUS BASE COURSE PER KYTC DIVISION 400 TYPE B PLACED PER KYTC SPECIFICATIONS.
 3. "C" DENSE GRADED AGGREGATE KY DOT SECTION 302, 803 & 805



EXISTING SITE STATISTICS

TRACT #	ACREAGE	USE
TRACT 28	0.88 ACRES	COMMERCIAL
TRACT 29	0.88 ACRES	COMMERCIAL
TRACT 30	0.88 ACRES	COMMERCIAL

PROPOSED DEVELOPMENT INFORMATION

DESCRIPTION	AMOUNT
TOTAL INCREASE	3,000 ACRES
EXISTING BUILDING SQUARE FOOTAGE	7,000 SF
PROPOSED FLOOR AREA	7,000 SF
TOTAL FLOOR AREA	14,000 SF
PROPOSED PARKING	100 SPACES
PROPOSED TOTAL IMPERVIOUS	10,000 SF

CERTIFICATION OF OWNERSHIP AND RESIDENCY

I HEREBY CERTIFY THAT I AM ONE AND THE OWNERS OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I HAVE HEREBY ADOPTED THIS PLAN OF THE DEVELOPMENT WITH MY OWN FREE CONSENT, ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES, AND DEDICATE ALL STREETS, ALLEYS, WALKS, PATHS, AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS SHOWN, IN ACCORDANCE WITH THE GEORGETOWN-SCOTT COUNTY SUBDIVISION AND DEVELOPMENT REGULATIONS UNLESS OTHERWISE NOTED.

DATE: 05/28/2024

PHILIP H. SEWELL
PHILIP H. SEWELL

CERTIFICATION OF PRELIMINARY PLAN APPROVAL

I HEREBY CERTIFY THAT THE PRELIMINARY DEVELOPMENT PLAN SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION AND DEVELOPMENT REGULATIONS FOR GEORGETOWN AND SCOTT COUNTY, KENTUCKY, WITH THE EXCEPTION OF SUCH VARIANCES, IF ANY, AS ARE NOTED IN THE MARGINS OF THE PLANNING COMMISSION. THIS APPROVAL DOES NOT CONSTITUTE APPROVAL TO BEGIN CONSTRUCTION OR OBTAIN A BUILDING PERMIT.

DATE: 05/28/2024

CHRISTINA GEORGETOWN-SCOTT COUNTY PLANNING COMMISSION

CERTIFICATE OF ACCURACY

I HEREBY CERTIFY THAT THE PLAN SHOWN AND DESCRIBED HEREON IS A TRUE AND CORRECT SURVEY TO THE ACCURACY REQUIRED BY THE GEORGETOWN-SCOTT COUNTY PLANNING COMMISSION AND THAT THE MEASUREMENTS HAVE BEEN PLACED AS SHOWN HEREON TO THE SPECIFICATIONS OF THE PLANNING COMMISSION OR OTHER AUTHORIZED OFFICER.

DATE: 05/28/2024



SEWELL DEVELOPMENT
MEDICAL OFFICE
150 MOUNT VERNON DRIVE
GEORGETOWN, KENTUCKY



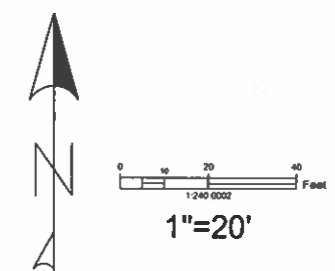
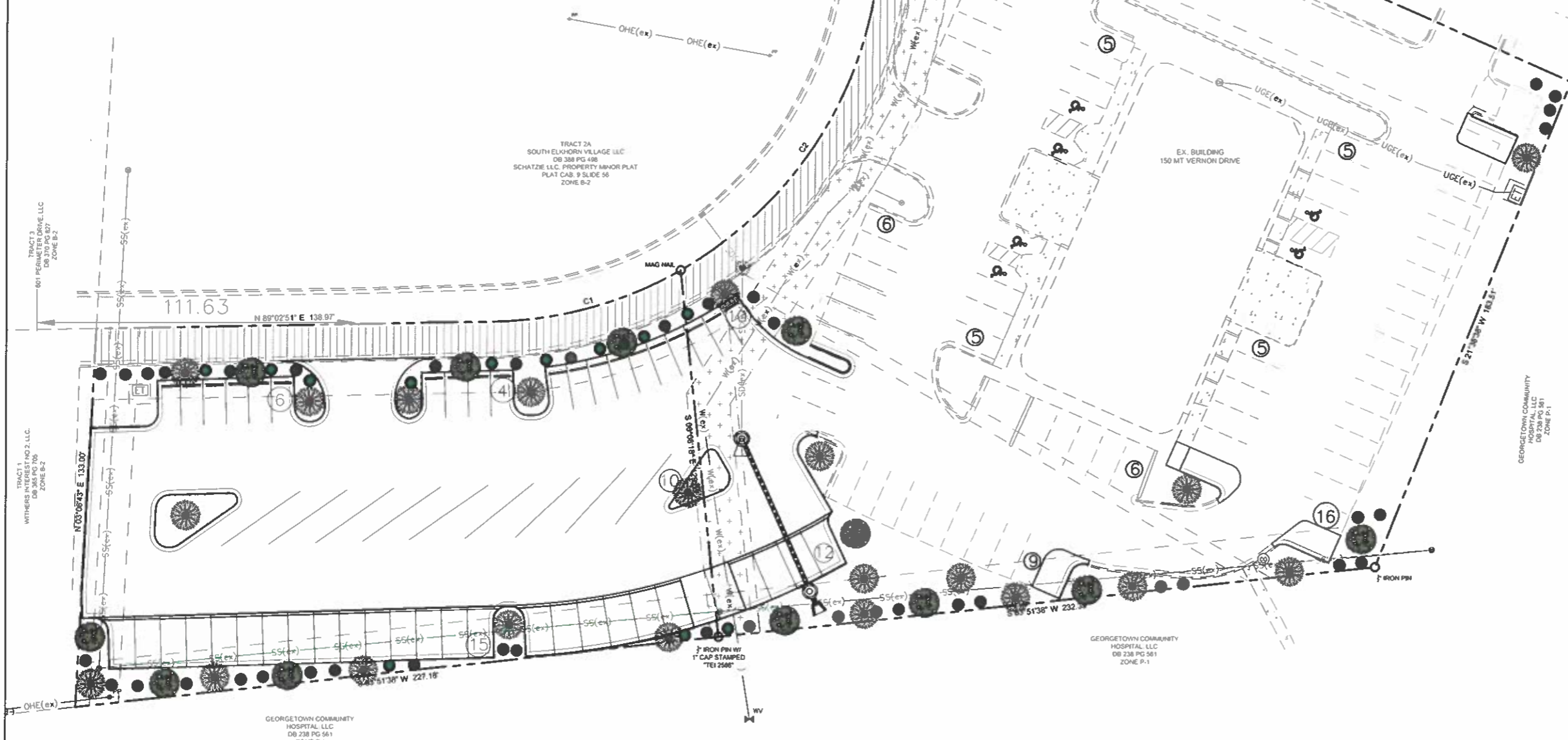
RELEASE LOG

DATE	DESCRIPTION
04/28/24	PRELIMINARY DEV. PLAN
05/22/24	PRELIMINARY DEV. PLAN REV.

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C.1
PRELIMINARY DEVELOPMENT

PLANT SCHEDULE				
CANOPY TREE				
QUANTITY	SYMBOL	SCIENTIFIC NAME	COMMON NAME	SIZE
21		QUERCUS PHELLOS	WILLOW OAK	1-3/4" CAL. MIN., SPACING AS SHOWN
12		ACER RUBURM	RED MAPLE	1-3/4" CAL. MIN., SPACING AS SHOWN
SHRUB				
25		BUXUS MICROPHYLLA	LITTLE BOXWOOD	
29		CLETHRA AINFOLIA	SUMMERSWEET CLETHRA	36" MIN. HT., 30" SPACING



NJL
ENGINEERING CONSULTANTS

N.J.L.L.C.
214 MOUNT VERNON DRIVE
GEORGETOWN, KY 40325
PHONE: (502) 359-4420

**SEWELL DEVELOPMENT
MEDICAL OFFICE
150 MOUNT VERNON DRIVE
GEORGETOWN, KENTUCKY**

LANDSCAPING NOTES

- THIS PLAN IS THE REPRESENTS THE CITY OF GEORGETOWN'S REQUIRED MINIMUM. ADDITIONS CAN OCCUR WITH THE APPROVAL OF THE OWNER.
- ANY CHANGES IN PLANT SPECIES OR PLANT LOCATION SHALL BE UNACCEPTABLE WITHOUT SPECIFIC PRIOR APPROVAL OF THE CITY OF GEORGETOWN PLANNING AND ZONING STAFF.
- ALL INTERIOR TREES OR THOSE LOCATED IN SITE TRIANGLE SHALL HAVE A MINIMUM OF 5' (FIVE) FEET CLEARANCE BELOW THE LOWEST BRANCHES.
- ALL LANDSCAPED AREAS NOT PLANTED WITH OTHER TYPES OF GROUND COVER SHALL BE SEEDED (PER KYTC SPECS), FERTILIZED, AND MULCHED OR SODDED SO ALL SITE AREAS HAVE VEGETATIVE COVER.
- NO EXISTING TREE SHALL BE REMOVED UNTIL APPROVAL FROM THE CITY OF GEORGETOWN IS GIVEN.
- ALL AREAS WITHOUT PROPOSED ADDITIONS AND OR MODIFICATIONS LANDSCAPING SHALL REMAIN AS IS.

SITE STATISTICS

TRACT 2B

- ACRES 1.893
- ZONING B-2 HIGHWAY BUSINESS DISTRICT
- EXISTING VEHICLE USE AREA (VUA) - 22,279.89 SQ. FT. (0.51 ACRES)
- PROPOSED VUA - 23,243.99 (0.78 ACRES)

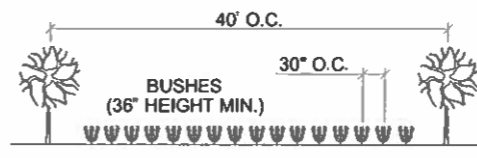
TRACT 2C

- ACRES 0.617
- ZONING B-2 HIGHWAY BUSINESS DISTRICT

PROPOSED DEVELOPMENT INFORMATION

- TOTAL ACRES - 2.510
- TOTAL VUA - 52,807.99 SF (1.21 ACRES)
- REQUIRED MINIMUM LANDSCAPE AREA PER 15-409 LANDSCAPE ORDINANCE SECTION 6.221 - 5,286.7 SF
- TOTAL PROVIDED LANDSCAPE AREA - 11,547 SF
- PROVIDED INTERIOR LANDSCAPING AREA - 6,133.83 SF
- PROVIDED PERIMETER LANDSCAPING AREA - 11,433.17 SF
- MINIMUM TREES REQUIRED - 27 TREES
- TREES PROVIDED TOTAL - 42
- EXISTING TO REMAIN - 9
- PROPOSED NEW - 33
- TOTAL EXISTING CANOPY COVERAGE - 141,819.34 SF
- EXISTING CANOPY COVERAGE TO REMAIN - 351,762.85 SF
- 81.34% OF TOTAL EXISTING

SMALL AND LARGE TREES
(1-3/4" CALIPER MINIMUM)
SEE PLAN



TYPICAL PLANTING SCHEDULE

RELEASE LOG

DATE:	DESCRIPTION:
05/22/24	PRELIMINARY

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C.7
LANDSCAPING
PLAN

**R+L CARRIERS
AMENDED PRELIMINARY DEVELOPMENT PLAN**

**Staff Report to the Georgetown-Scott County Planning Commission
June 13, 2024**

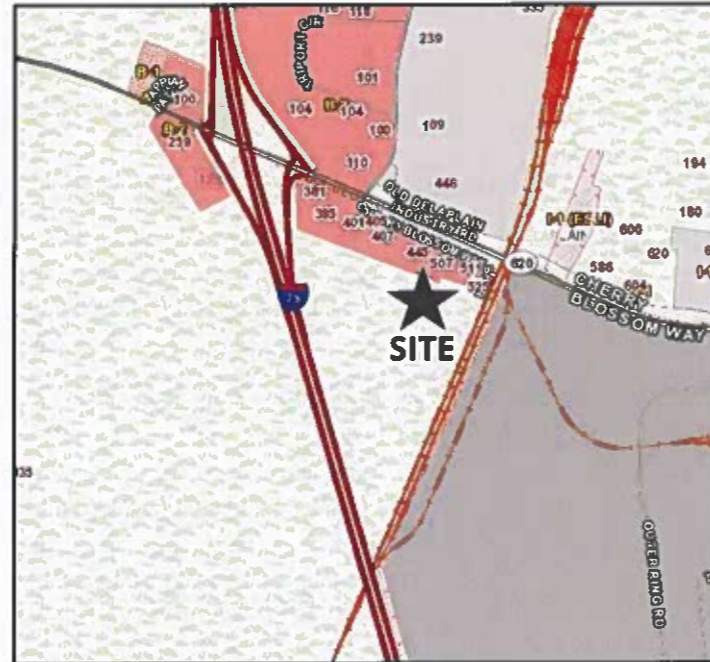
FILE NUMBER: PDP-2024-26

PROPOSAL: Amended Preliminary Development Plan for a 156-door cross dock facility, office, vehicle parking, and maintenance garage.

LOCATION: Parcel: 162-20-012.000

APPLICANT: Stan Richards

CONSULTANT: Joe Iovinelli
Manhard Consulting



STATISTICS:

Zone	I-1 (Light Industrial)
Surrounding Zone(s)	A-1, B-2, & I-2
Site Acreage	44.39 Acres
Building Height	34 feet
Proposed Building Size	118,578 Square Feet Total (Office: 4,000 SF; Cross Dock: 93,983 SF; Maintenance Building: 18,615 SF) Additional Future Cross Dock Expansion Buildings Shown, not part of this approval.
Proposed Parking	154 spaces (5 ADA Accessible)
Truck/Trailer Parking	156 Truck Bays; Future Expansion Shown for 120 Truck Bays
Access	Cherry Blossom Way Spur
Variances/Waivers	1. Waiver to the landscaping buffer required along the Interstate. (Granted by PC as part of PDP-2021-42 in Nov. 2021)

BACKGROUND:
The Georgetown City Council approved the Zoning Map Amendment to I-1 (Light Industrial) along with annexation of the property in 2022. The proposed use is appropriate in the I-1 zoning district.

PLAN REVIEW:

The original Preliminary Development Plan was approved in January 2021 for an 80-door cross dock facility, office, maintenance garage and fuel island. This Amended Preliminary Development Plan reflects a request to increase the size of the cross dock facility to a 156-door cross dock, with similar accessory uses of office space, a 18,815 SF maintenance garage and a variety of parking spaces for different vehicle types and trailers. All the proposed buildings meet the setback, maximum height and maximum building area coverage requirements of the *Zoning Ordinance*. The Applicant has proposed the main entrance location accessing Cherry Blossom Way Spur between the newly constructed hotel and the natural gas fueling station. This is the same location shown on the previous plan. Planning staff did request an updated traffic study based on the proposed increase in the number of cross dock bays.

The Project Site is in the Dry Run Watershed BMP Study Area. The Applicant is responsible for any additional study requirements per the adopted guidelines of the study.

There are several important natural gas lines that run along the property boundaries of the Project Site and along the proposed access to Cherry Blossom Spur. Staff and the Applicant have been in communication with Columbia Gas throughout the review process for this application, and this cooperation will continue throughout the development of the site.

Traffic Study/Access:

Vehicular access to the site is proposed from Cherry Blossom Way Spur. The proposed access point should have fewer impacts on the residential use than the entrance that was originally proposed at the zone change stage at the end of Cherry Blossom Way Spur. It will, however, have some impact upon the neighboring hotel. The hotel has an outdoor patio on the side of the building facing the proposed driveway. The increased traffic may also disturb patrons of the hotel depending on the volume and times of heavy traffic leaving the facility.

The proposed increase in the size of the cross-dock facility does not significantly alter the results from the Traffic Impact Study that was submitted as part of ZMA-2021-36 and PDP 2021-42 and updated as part of this Amended Development Plan application. The updated traffic study shows that with or without the new development, level-of-service (LOS) for all intersections and scenarios is C or better.

As recommended in the July 2021 Study, the eastern shoulder edge of the northbound approach of KY 620 at Triport Road/Cherry Blossom Spur will need additional pavement width in order for trucks to be able to make the northbound right turn movement. Additional pavement width is also recommended along the southern edge of the T-intersection to offer more room for trucks to make the turn if there is a queue of vehicles waiting in the northbound left turn lane. As part of the previous work, an intersection and signal design modification was developed in 2022 and would still be applicable.

Since the original study was completed, a stop sign was added along the Clarks Pump-N-Shop approach and this was reflected in the updated traffic study analysis. "Do Not Block Intersection" signs and/or striping also are recommended to help ensure the queue spilling over from the inadequate spacing of the intersections does not block entering vehicles. This is especially important due to the amount of trucks in the area, since they require more space.

The Applicant will still be required to make all necessary changes to the intersections and Cherry Blossom Way Spur up to their driveway.

Landscaping:

Section 6.12: Property Perimeter Requirements

Row 3 of the table requires a 15 ft. wide landscaping buffer between I-1 property and any residential, office, or commercial zones. This buffer area is required to have 1 tree per 40 feet of linear boundary plus either a double row of 6 ft. hedge or a 6 ft. fence, wall, or earth mound. **This application meets this requirement.**

Row 5 of the table requires a 20 ft. landscaping buffer along arterial roads for double frontage lots without direct access to the arterial road. The buffer area is required to have 1 tree per 30 ft. of linear boundary plus a continuous 6 ft. tall planting, hedge, wall, fence, or earth mound. The Project Site is a double frontage lot, with one of those frontages being I-75. The Applicant was granted a variance to this requirement with the previous Preliminary Development Plan. With the expansion of the building and hardscape on this amended plan staff is recommending some additional buffering along I-75 be provided. As part of the canopy plantings the applicant is providing a double row of trees around their detention ponds near I-75 and some trees will remain along the I-75 right-of-way. This will largely satisfy this double frontage buffer requirement, regardless of the waiver.

Row 9 of the table requires a 15 ft. wide landscaping buffer between the Project Site and any A-1 zoned property. This buffer area is required to have 1 tree per 40 ft. of linear boundary plus a 6 ft. tall planting, hedge, fence, wall, or earth mound. **This application meets this requirement.**

Section 6.13: Vehicular Use Area Perimeter Requirements

The Preliminary Development Plan meets the requirements for VUA perimeter landscaping.

Section 6.22: Interior Landscaping for Vehicular Use Areas

The Preliminary Development Plan meets the requirements for Interior Landscaping for VUAs.

Section 6.2215: Minimum Canopy Requirements

The Preliminary Development Plan meets the requirements for canopy coverage.

RECOMMENDATION:

Staff recommends **Approval** of the Preliminary Development Plan. Should the Planning Commission approve the application, staff recommends including the following updated waiver and conditions of approval:

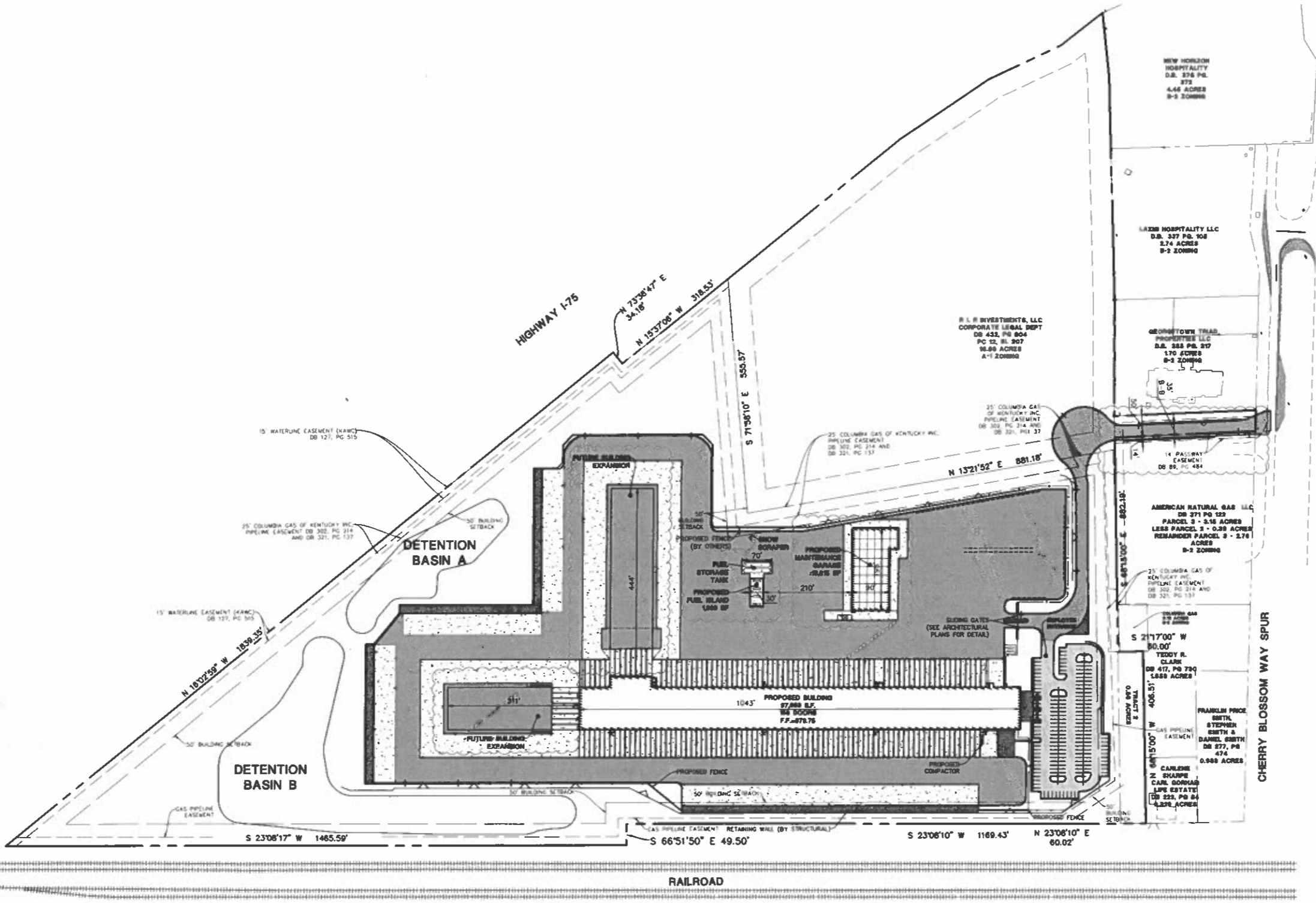
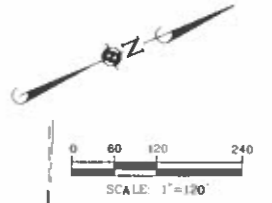
Waiver:

1. Amend previous waiver of the required screening along I-75 to reflect what is shown on the submitted landscape plan.

Conditions of Approval:

1. All applicable requirements of the *Zoning Ordinance* and *Subdivision & Development Regulations*.

2. Any revisions or amendments to the approved Preliminary Development Plan shall be reviewed and approved by the Planning Commission staff (minor) or by the Planning Commission (major).
3. Prior to (as part of) the Final Development Plan approval, the applicant shall provide the Planning Commission staff (GIS division) with a digital copy of the approved plan.
4. Applicant shall be responsible for completing all off-site road improvements identified in the traffic impact study.
5. Prior to any building construction, a Final Development Plan, including all required construction plans, shall be approved by the Planning Commission staff and the applicant shall schedule a Pre-Construction Meeting with the Planning Commission Engineering Department to review construction policies and to establish inspection schedules. (Early grading previously approved).
6. The Final Development Plan shall comply with all stormwater management requirements.
7. The Final Development Plan shall comply with all requirements of the guidelines in the Dry Run Watershed BMP Study that are applicable to this site.
8. This Preliminary Development Plan approval is valid for two years, subject to the requirements of Article 406 section A of the *Subdivision and Development Regulations*.
9. The Final Development Plan shall have a specie specific Landscaping Plan in compliance with the *Landscaping & Land Use Buffers Ordinance*.
10. All underroof drains from the fueling area are required to connect to the sanitary sewer system after pre-treatment requirements are met.
11. Exposed areas downstream of the fueling area shall have sufficient BMP pre-treatment to capture fuel spills or remove anticipated fuel related pollutants.
12. The Applicant shall work with Columbia Gas to avoid disruption or damage to the gas lines on/along the Project Site.



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R+L CARRIERS - GEORGETOWN EXPANSION
 CITY OF GEORGETOWN, SCOTT COUNTY, KENTUCKY
 SITE PLAN CORRECTIONS EXHIBIT

PROJ. NO. 10
 PROJ. ARCH. JSP
 DRAWN BY: JSP
 DATE: 09/22/24
 SCALE: 1"=120'

SHEET
EX
 RLR.GTKY01

09/23/2024 11:18:00 AM C:\Users\jguy\OneDrive\Documents\Projects\0311-05-17\0311-05-17.dwg Updated by: JGUY

FOR REVIEW - NOT FOR CONSTRUCTION

FINAL LANDSCAPE PLAN - PHASE 2

for

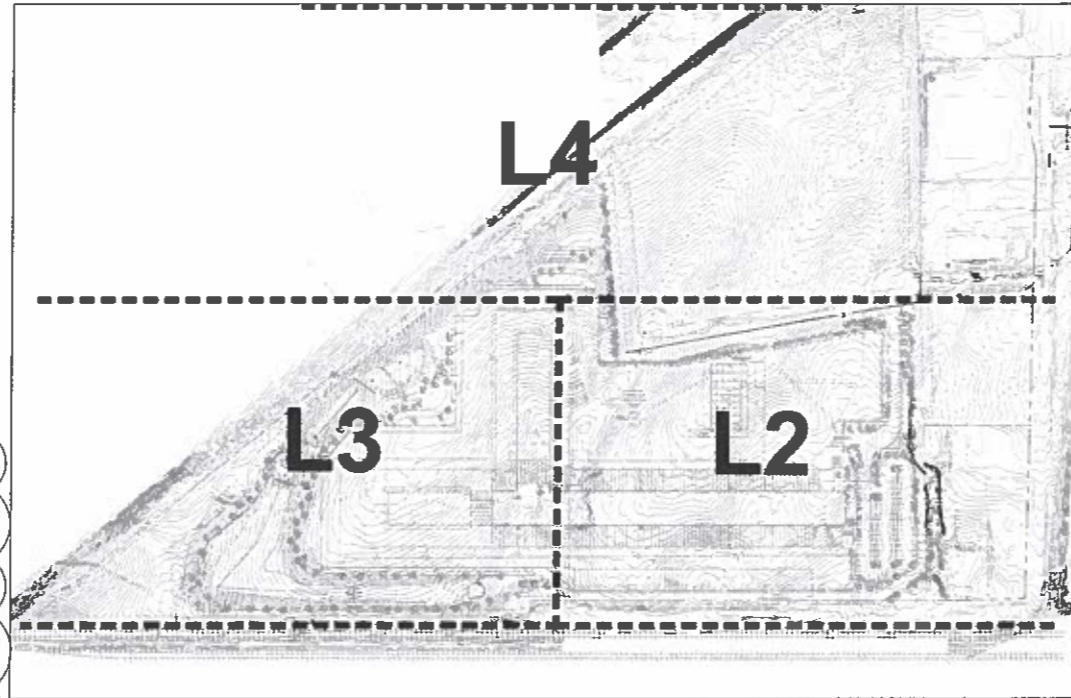
R+L CARRIERS - GEORGETOWN

CHERRY BLOSSOM WAY SPUR

CITY OF GEORGETOWN, KENTUCKY

INDEX OF SHEETS	
SHEET NO	DESCRIPTION
L1	TITLE SHEET AND LANDSCAPE SUMMARY
L2	LANDSCAPE PLAN - NORTH
L3	LANDSCAPE PLAN - SOUTH
L4	LANDSCAPE PLAN - WEST
L5	LANDSCAPE PLAN DETAILS
L6	LANDSCAPE SPECIFICATIONS

CODE	QTY	UNIT	BOTANICAL NAME	COMMON NAME	SIZE	CANOPY	REMARKS	TOTAL
								CANOPY SF
								CANOPY SF
DECIDUOUS TREES								
ACEMOU	12	ea	Acer saccharum 'PNI 0285' TM	Green Mountain Sugar Maple	2" Cal	B&B	LT	750
AUNGLU	11	ea	Alnus glutinosa	European Alder	2" Cal	B&B	LT	750
BETQUL	11	ea	Betula nigra 'Gully' TM	Heritage River Birch	2" Cal	B&B	MT	400
CAROVA	10	ea	Carya ovata	Shagbark Hickory	2" Cal	B&B	LT	750
QELCH	21	ea	Qeilia occidentalis 'Chicagoland'	Chicagoland Hackberry	2" Cal	B&B	LT	750
GNAUT	15	ea	Ginkgo biloba 'Autumn Gold' TM	Autumn Gold Maidenhair Tree	2" Cal	B&B	LT	750
GLESKY	11	ea	Gleditsia inacanthos nermis 'Skyline'	Skyline Honey Locust	2" Cal	B&B	LT	750
GIMKBY	17	ea	Gymnocladus dioica	Kentucky Coffeetree	2" Cal	B&B	LT	750
LIQFES	14	ea	Liquidambar styraciflua 'Festival'	Festival Sweet Gum	2" Cal	B&B	LT	750
QUEBIC	19	ea	Quercus bicolor	Swamp White Oak	2" Cal	B&B	LT	750
QUEMAC	17	ea	Quercus macrocarpa	Burr Oak	2" Cal	B&B	LT	750
QUERUB	10	ea	Quercus rubra	Red Oak	2" Cal	B&B	LT	750
TAXMIC	12	ea	Taxodium distichum 'Mickelson' TM	Shawnee Brave Blvd Cypress	2" Cal	B&B	LT	750
TILOSP	18	ea	Tilia cordata 'Greenspire'	Greenspire Littleleaf Linden	2" Cal	B&B	LT	750
EVERGREEN TREES								
ABI CON	6	ea	Abies concolor	White Fir	5" Ht	B&B	MT	400
PICABE	14	ea	Picea abies	Norway Spruce	5" Ht	B&B	LT	750
PINSTR	5	ea	Pinus strobus	White Pine	5" Ht	B&B	LT	750
DECIDUOUS SHRUBS								
ARDAER	37	ea	Aronia arbutifolia 'Brilliantissima'	Brilliant Red Chokeberry	5 gal			
CLEPIN	18	ea	Cedra alnifolia 'Pink Spires'	Pink Spires Summersweet	5 gal			
COORFM	48	ea	Cornus sericea 'Farrow' TM	Arctic Fire Red Twig Dogwood	5 gal			
COOLUC	14	ea	Coloneaster lucidus	Shiny Coloneaster	5 gal			
MWRPEN	37	ea	Myrica pensylvanica	Northern Elyberry	5 gal			
RHJAFD	16	ea	Rhus aromatica	Fragrant Sumac	5 gal			
RBFRE	20	ea	Ribes alpinum 'Green Mound'	Green Mound Alpine Currant	5 gal			
MBDEN	35	ea	Mbumum dentatum 'Arrowwood'	Arrowwood Viburnum	5 gal			
EVERGREEN SHRUBS								
ILECON	58	ea	Ilex crenata 'Convex'	Convex-leaved Japanese Holly	5 gal			
ILEBLU	53	ea	Ilex meserriana 'Blue Angel'	Blue Angel Holly	5 gal			
PINCO2	50	ea	Pinus mugo 'Compacta'	Dwarf Mugo Pine	5 gal			
TAXDEN	61	ea	Taxus x media 'Densiformis'	Dense Anglo-Japanese Yew	5 gal			
THUTEK	45	ea	Thuja occidentalis 'Tachy'	Tachy Arborvitae	5" Ht	Rt		
								TOTAL CANOPY
								161,300



KEY MAP

Landscape Notes:

- Seed/ Sod limit line is approximate. Seed/ Sod to limits of grading and disturbance. Contractor responsible for restoration of any unauthorized disruption outside of designated construction area.
- Contractor responsible for erosion control in all seeded/ sodded areas.
- Tree mulch rings in turf areas are 5' diameter. Contractor shall provide a mulch ring around all existing trees within the limits of work. Remove all existing grass from area to be mulched and provide a typical spade cut edge. Landscape Fabric shall not be installed under mulch.
- Bedlines are to be spade cut to a minimum depth of 3". Curved bedlines are to be smooth and not segmented.
- All planting beds shall receive top dressing of mulch. Landscape fabric shall not be installed under mulch.
- Do not locate plants within 10' of utility structures or within 5' horizontally of underground utility lines unless otherwise shown on plans. Consult with Landscape Architect if these conditions exist.
- For Lump Sum Contracts, plants and other materials are quantified and summarized for the convenience of the Owner and jurisdictional agencies only. Confirm and install sufficient quantities to complete the work as drawn and specified. No additional payments will be made for materials required to complete the work as drawn and specified.
- For Unit Price Contracts, payments will be made based on actual quantities installed as measured in place by the Owner's Representative.
- It is the responsibility of the contractor to locate and provide plant material as specified on this plan. The contractor may submit a request to provide substitutions for the specified plant material under the following conditions:
 - Any substitutions proposed shall be submitted to the project owner's representative within two weeks of the award of contract. Substitutions must meet equivalent design and functional goals of the original materials as determined by the owner's representative. Any changes must have the approval of the owner's representative.
 - The request will be accompanied by at least three notices from plant material suppliers that the plant material specified is not available and will not be available prior to construction.
 - The City of Georgetown Plan Commission must also review and approve any substitutions for the specified plant material.
- Verify site conditions and information on drawings. Promptly report any concealed conditions, mistakes, discrepancies or deviations from the information shown in the Contract Documents. The Owner is not responsible for unauthorized changes or extra work required to correct unreported discrepancies. Commencement of work shall constitute acceptance of conditions and responsibility for corrections.
- A minimum of two working days before performing any digging, call underground service alert for information on the location of natural gas lines, electric cables, telephone cables, etc. The contractor shall be responsible for location and protection of all utilities, and repair of any damage resulting from his work at no additional cost to the owner.
- Contractor shall promptly repair all damages to existing site at no cost to owner.
- Refer to landscape specifications for additional conditions, standards, and notes.

City of Georgetown Required Landscaping

PLANTING MATERIAL REQUIREMENTS
 Requirement: Deciduous trees must be 2" Cal min. Evergreens must be 5' ht. Shrubs must be 12", 2' or 3' depending on ordinance requirements

SUBJECT PROPERTY - ZONED = I-1

PROPERTY PERIMETER LANDSCAPING REQUIREMENTS
 Requirement: 50% winter opacity and a 70% summer opacity

Northeast Property Line - I-1 adjacent to B-2 - 944.20 linear feet
 Requirement: 15' Buffer with One (1) Tree per 40' linear feet of Group A or B, plus a 6' high hedge or 6' high fence, wall or earth mound.

1,348.70 / 40 = (44.95) = 45 Group "A" or "B" Trees

On Plan: 45 Trees and 6' continuous of screening

Northwest Property Line - I-1 adjacent to A-1 - 1,436.75 linear feet
 Requirement: 15' Buffer with One (1) Tree per 40' of linear boundary (Only Group A), or One (1) Evergreen Tree/15' of linear boundary, or One (1) Tree/20' of linear boundary combination of 50% Trees from Group A and 50% small flowering trees or evergreen trees, or one (1) small flowering tree/15' of linear boundary

1,436.75 / 40 = (35.92) = 36 Group "A" Trees

On Plan: 40 Trees and 6' continuous screening and chain link fence along property lines

Southeast Property Line - I-1 adjacent to Railroad - 2,684.52 linear feet
 Requirement: No Requirement

Southwest Property Line - I-1 adjacent to Highway 75 - 2,192.06 linear feet
 Requirement: No Requirement

Required - 85 Group "A" or "B" Trees and 6' continuous of screening
 On Plan - 85 Group "A" or "B" Trees and 6' continuous of screening

VEHICULAR USE AREA PERIMETER REQUIREMENTS

Requirement: Vehicular Use Perimeters needed adjacent to properties that are not adjacent to industrial or agricultural properties

Required - Not Required because the Buffer adjacent to B-2 satisfies this requirements

On Plan - Using Buffer of I-1 adjacent to B-2 satisfies the requirement

INTERIOR LANDSCAPE FOR VEHICULAR USE REQUIREMENTS

Requirement: For every 100 sq. ft. then 10 sq. ft. of the landscape area shall be provided

Total Interior Parking Lot Area = 59,070 Square Feet * 0.10 = 5,907 Square Feet of Landscape Area
 5,907 / 250 = (23.63) = 24 Trees

Required - 24 Group "A" or "B" Trees and 5,907 Square Feet of Landscape Area
 On Plan - 24 Group "A" or "B" Trees and 5,907 Square Feet of Landscape Area

CANOPY TREE REQUIREMENTS

Amount of Disturbed Area: 1,607,273 Square Feet
 1,607,273 x 10 = 16,072,727 Square Feet of Canopy Tree Requirement

Small Trees = 100 square feet
 Medium Trees = 400 square feet
 Large Trees = 750 square feet

160,727 / 750 = (214.3) = 206 Large Trees, 17 Medium Trees

Required - 160,727 total canopy needed on the Plan
 On Plan - 161,300 total canopy provided. 10% canopy requirement achieved

SCREENING OF OUTDOOR STORAGE REQUIREMENT

Requirement: All outdoor storage areas in industrial zones shall be screened by a solid wall or fence not less than six (6) feet in height.

On Plan - 6' Chain Link Fence proposed along with continuous screening of plant material (See Northwest Property Line Screening)

PLANT MATERIAL TYPES - from Planning Manual List:

Group "A":	LT	Large Trees (Over 50 Feet in Height)
Group "B":	MT	Medium Trees (25 to 50 Feet in Height)
Group "C":	LST	Large Shrubs or Small Trees (10 to 25 Feet in Height)
Group "D":	MS	Medium Shrubs (6 to 10 Feet in Height)
Group "E":	SS	Small Shrubs (4 to 6 Feet in Height)
Group "F":	LS	Low Shrubs (1 1/2" to 4 Feet in Height)
Group "G":	GC	Ground Cover (Below 1 1/2" in Height)



Legend

	Turf
	Gravel Locations
	Cardno Stormwater Seed Mx
	Cardno Economy Prairie Seed Mx
	Cardno Wetland Emergent Seed Mx

RECEIVED

MAY 29 2024

PLANNING COMMISSION

Manhard CONSULTING LTD

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 Construction Management • Environmental Science • Landscape Architecture • Planning

R+L CARRIERS - GEORGETOWN - PHASE 2

CITY OF GEORGETOWN, KENTUCKY

TITLE SHEET AND LANDSCAPE SUMMARY

SHEET L1 OF L6

RLJRGTKY01

MATCH LINE SEE SHEET L4

MATCH LINE SEE SHEET L3

NO ENCROACHMENTS OF ANY KIND SHALL BE WITHIN COLUMBIA GAS EASEMENTS. THIS INCLUDES BUT IS NOT LIMITED TO TREES AND LANDSCAPING

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AMERICAN PART 245-250' SE 371 94.55' PARCEL 2 - 0.56 ACRES LEED PARCEL 2 - 0.56 AC' NEARBY PARCEL 2 - 1.76 1-1 204580

AMERICAN PART 245-250' SE 371 94.55' PARCEL 2 - 0.56 ACRES LEED PARCEL 2 - 0.56 AC' NEARBY PARCEL 2 - 1.76 1-1 204580

TEDDY R. CLARK 31 477 81 134

COLUMBIA GAS 3.02 ACRES P-2 ZONING

STRANDE PROPERTY STEPHEN SMITH 33 477 PG 514 0.889 ACRES

- Legend
- Turf
 - Gravel Locations
 - Cardno Stormwater Seed Mix
 - Cardno Economy Prairie Seed Mix
 - Cardno Wetland Emergent Seed Mix








R+L CARRIERS - GEORGETOWN - PHASE 2
CITY OF GEORGETOWN, KENTUCKY
LANDSCAPE PLAN - NORTH

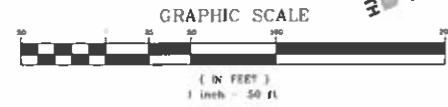
DATE: 07/16/24
SCALE: 1"=50'
SHEET
L2 OF L6
RLRGTKY01

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700 Brinker Drive, Louisville, KY 40214, ph: 502.891.8000 or 502.891.8888 website: www.manhardconsulting.com
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Construction Managers | Environmental Scientists | Landscape Architects | Planners

NO.	DATE	DESCRIPTION
1	07/16/24	ISSUED FOR COMMENTS

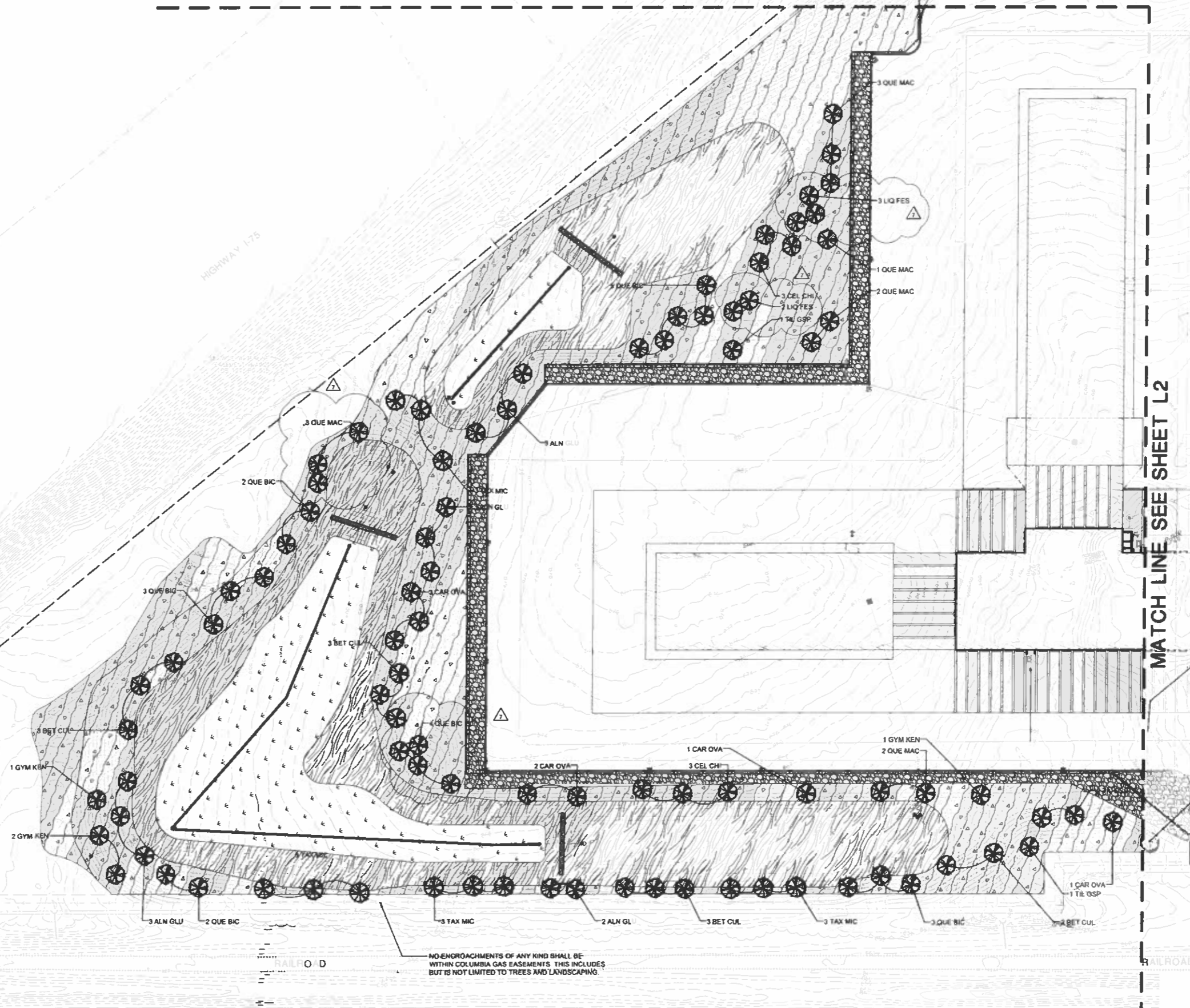
Legend

-  Turf
-  Gravel Locations
-  Cardino Stormwater Seed Mix
-  Cardino Economy Prairie Seed Mix
-  Cardino Wetland Emergent Seed Mix



MATCH LINE SEE SHEET L4

MATCH LINE SEE SHEET L2








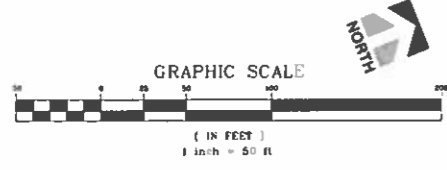
NO ENCROACHMENTS OF ANY KIND SHALL BE WITHIN COLUMBIA GAS EASEMENTS THIS INCLUDES BUT IS NOT LIMITED TO TREES AND LANDSCAPING.

Manhard CONSULTING
700 Springer Drive, Louisville, KY 40203
Civil Engineers, Surveyors, Water Resources Engineers, Water & Waste Water Engineers
Construction Managers, Environmental Scientists, Landscape Architects, Planners

R+L CARRIERS - GEORGETOWN - PHASE 2
CITY OF GEORGETOWN, KENTUCKY
LANDSCAPE PLAN - SOUTH

PROJ. NO.	02-16-24
PROJ. ASSOC.	MP
DRAWN BY	MP
DATE	02/16/24
SCALE	1"=50'
SHEET	L3 OF L6
RLRGTKY01	

- Legend**
-  Turf
 -  Gravel Locations
 -  Cardno Stormwater Seed Mix
 -  Cardno Economy Prairie Seed Mix
 -  Cardno Wetland Emergent Seed Mix



MATCH LINE SEE SHEET L3

MATCH LINE SEE SHEET L2

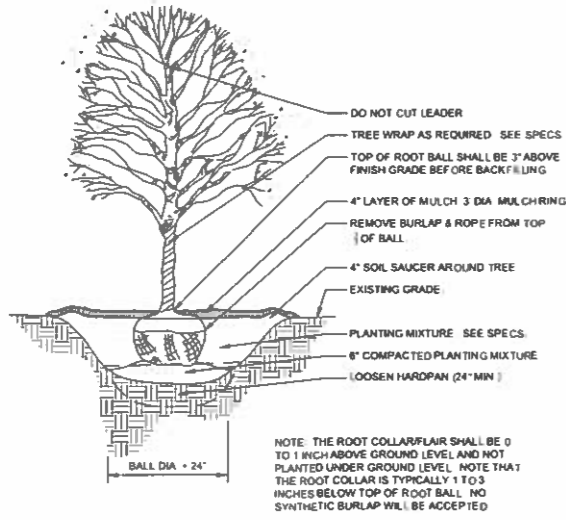
DATE	
REVISION	
NO.	
DATE	
DESCRIPTION	

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 100 Bentley Drive, Louisville, KY 40203, USA
 502.581.1555
 Civil Engineers | Surveyors | Water Resource Engineers | Wetland & Wetland Mitigation | Environmental Scientists | Landscape Architects | Planners

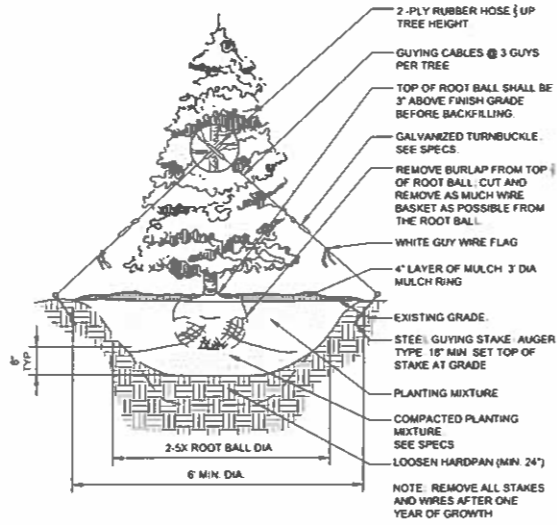
R+L CARRIERS - GEORGETOWN - PHASE 2
 CITY OF GEORGETOWN, KENTUCKY
 LANDSCAPE PLAN - WEST

PROJ. NO. 1
 PROJ. ASSOC. MP
 DRAWN BY: JSD
 DATE: 02/18/24
 SCALE: 1"=50'

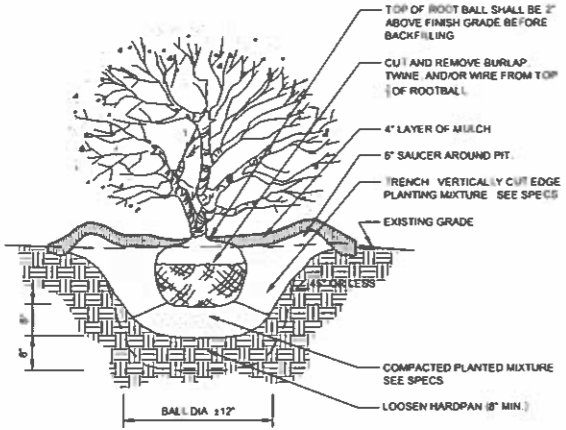
SHEET
L4 OF L6
 RLRTKY01



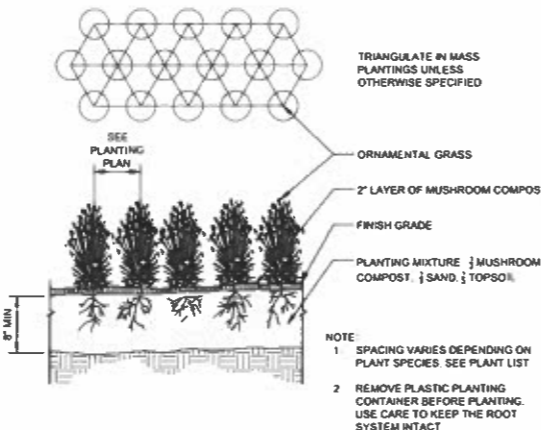
① DECIDUOUS TREE PLANTING
1/8" = 1'-0"
329343 33-20



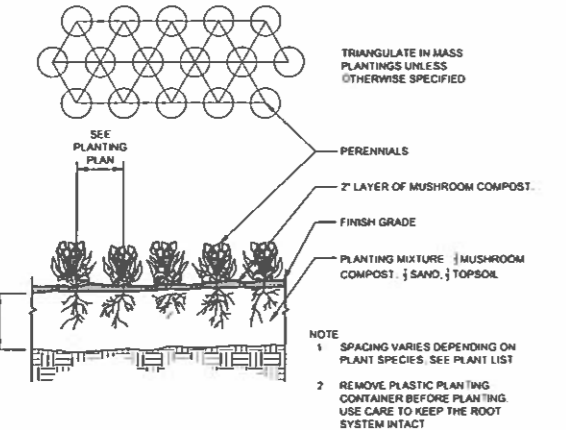
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1/4" = 1'-0"
329343 46-01



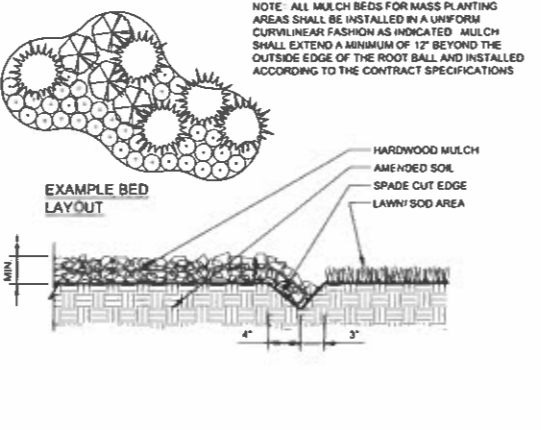
③ SHRUB PLANTING DETAIL
3/4" = 1'-0"
329333 16-05



④ ORNAMENTAL GRASS PLANTING
1" = 1'-0"
329313 01



⑤ PERENNIAL / ANNUAL PLANTING
1" = 1'-0"
329313 02



⑥ CONTINUOUS MULCH EDGING
1" = 1'-0"
329113 26-01

DATE	
REVISION	
NO.	
DATE	
NO.	
DATE	
NO.	
DATE	
NO.	

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R+L CARRIERS - GEORGETOWN - PHASE 2
CITY OF GEORGETOWN, KENTUCKY
LANDSCAPE DETAILS

PROJ. NO. 3
 PROJ. ASSOC. MP
 DRAWN BY JSD
 DATE 02/18/21
 SCALE 1" = 50'
 SHEET
L5 OF L6
 RLRGTKY01

**TMMK-PV PROJECT
PRELIMINARY DEVELOPMENT PLAN**

**Staff Report to the Georgetown-Scott County Planning Commission
June 13, 2024**

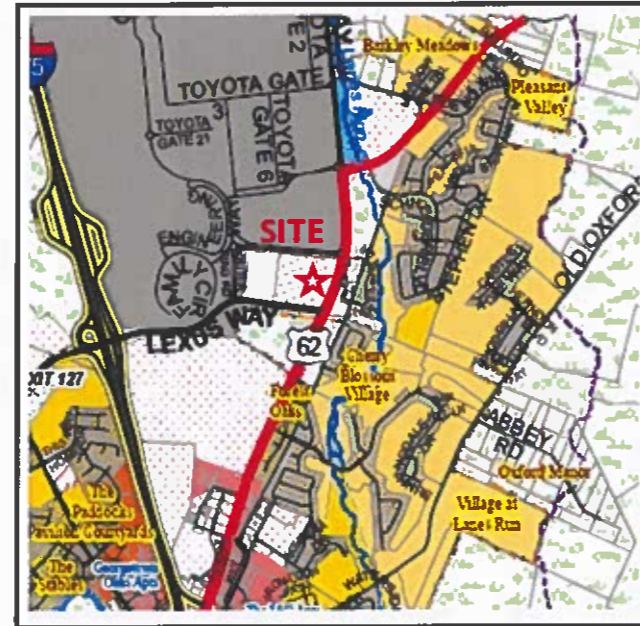
FILE NUMBER: PDP-2024-27

PROPOSAL: Preliminary Development Plan for a renewable energy project consisting of ground mount PV solar array system on 18 acres with a future expansion of 9.25 acres.

LOCATION: North of Lexus Way and west of Cheery Blossom Way in NE Georgetown

OWNER: TMMK, Inc.

CONSULTANT: Kevin Chavez
Holt Renewables



STATISTICS:

Current Zone	BP-1/I-1 (Business Park/Light Industrial)
Surrounding Zone(s)	I-2/A-1
Site Acreage	27.25 Acres
Proposed Development	12 MWdc total ground mount solar farm (phase 1: 8 MWdc, phase 2: 4MWdc)
Building Height:	Solar panels and ancillary structures, less than one story max.
Existing Parking:	No parking lots
Proposed Parking:	None, access drive will be gravel with turnaround for maintenance
Access	Lexus Way from existing entrance
Waivers/Variances	Waiver to canopy and perimeter landscaping along exterior boundaries. (i.e.Lexus Way and Cheery Blossom Way frontages)

BACKGROUND:

The Project Site is a 27-acre area site at the northwest corner of the intersection of Cheery Blossom Way and Lexus Way. The site is owned by Toyota Motor Manufacturing Kentucky, Inc. The Applicant is proposing to add a large solar array system for renewable energy use by the Toyota Motor Plant

operations. The property is zoned BP-1 (Business Park) and I-1 (Light Industrial). This is an appropriate zoning district for the uses proposed on the development plan. Renewable energy facilities are permitted uses in the BP-1 and I-1 Districts.

Site Layout:

The Development Plan shows a large solar array of ground mounted solar panels on 27-acres on Toyota owned property, zoned BP-1 and I-1. The subject property is located North of Lexus Way, west of Cherry Blossom Way and South of Outer Ring Road. The site is moderately sloped and has some scattered tree cover. The trees in the area of the proposed solar array will be removed, but the ground cover and the natural grades will remain and the solar panels will be installed on a light metal frame following the natural grade of the site.

The applicants propose to utilize the proposed solar farm as a renewable energy source for the local Toyota Plant and Building operations. The site is proposed to be developed in two phases with phase one consisting of 18-acres of solar panels which could potentially create eight 8 megawatts of energy and phase two covering an additional 9-acres with the potential of creating approximately 4 megawatts of electricity, for a total of 27-acres and 12-megawatt capacity for the entire site at build out.

The site will be covered with solar panels in rows spaced 12' apart, with a gravel access road from an existing entrance on Lexus Way, splitting the solar field and providing access to electrical equipment and transformers down the center of the site.

The solar panels will be installed along existing grade on metal frames with an approximate maximum height of 6' above ground level. The solar array will be surrounded by a perimeter seven (7') tall chain link fence. Light poles spaced on the perimeter of the field are proposed to be 25'-30' tall and the bulbs will be directed to the interior of the site.

The proposed solar farm does not require screening for Service Structures per Section 6.23 of the *Landscape & Land Use Buffers Ordinance* but perimeter screening of some of the site would be required by the Zoning Ordinance. The BP-1 zone district standards require an enhanced screen of a double row of trees 20' on-center where the use adjoins Agricultural or Residential zones. The solar panels will also be required to meet the setbacks for the BP-1 District which are 50' front; 20' side; and 30' rear. All road frontages are considered front yards. Based on the size of the site, the applicant should be able to comply with all required setbacks.

Access

The site has an existing access point from Lexus Way, which is proposed to continue functioning as the main entrance/exit for maintenance vehicles.

Landscaping & Screening:

Section 6.12: Property Perimeter Requirements

Section 6.12 of the ordinance requires screening where any light industrial zone adjoins a residential, office, commercial or agricultural zone, at the time when development occurs on the light industrially zoned property. BP-1 Zoning performance standards require a 25-foot landscape buffer within a 50-foot open space easement when adjoining residential or agriculturally zoned property. The southern and eastern frontages (Lexus Way and Cherry Blossom Way) of the property adjoin Agricultural zones on the

opposite sides of the road. These are both Arterial Roadways with wide frontages. The Cherry Blossom Way right-of-way is variable but averages 250 feet. The Lexus Way right-of-way is also variable but on average is 180 feet in width. These wide frontages form a significant transition to the uses on the adjacent side of the roadway. The property on the south side of Lexus Way is undeveloped farmland, planned Industrial on the Future Land Use Map. Immediately to the east of Cherry Blossom Way is a 400-foot-wide strip of land between Cherry Blossom Way and Oxford Road. There is only one house in this strip of land and it is surrounded by mature trees. The land immediately to the east is planned Commercial in the proposed 2024 Future Land Use Map. The land to the north and west is owned by Toyota and is zoned Industrial. Any perimeter buffering required along existing road frontages would primarily buffer the site from passing automobile traffic.

The applicant has indicated they are requesting a variance to the tree canopy and the perimeter landscaping requirements. The applicant has stated that any solid obstructions will reduce visibility of the solar farm and any landscaping can increase potential shading of modules which will impact energy generation potential. The solar project is an important renewable energy project for the Toyota Plant to increase the Plants' self-sufficiency and sustainability. Toyota is not interested in hiding this aspect of their operations.

Planning staff requested information about the glare potential of the modules. Staff was interested in knowing of any potential glare impact to vehicles driving on adjacent roads or on future development potential on adjoining property.

The applicants stated that the modules are fitted with glass that is anti-reflective, with generally no more than 2% of light reflective from the modules. The applicant recently completed a project at LaGuardia airport adjacent to the control tower that validates the lack of glare, especially in flight lines and to landing and departing aircraft.

The land along the Cherry Blossom Way frontage is elevated above the roadway and there are numerous large trees on the state road right-of-way. The modules will be installed at grade with a maximum height of less than 6-feet. They will not be visible along much of Cherry Blossom Way. The primary open frontage where the solar modules will be visible will be along Lexus Way, which is opposite a planned Industrial area.

Staff believes the perimeter landscape screening variance is justified based on the above stated reasons. The applicant should limit tree removal to the extent necessary to install the solar array and to provide necessary solar exposure to the array.

Section 6.13: Vehicular Use Area Perimeter Requirements
Not applicable

Section 6.22: Interior Landscaping for Vehicular Use Areas
Not applicable

Section 6.2215: Minimum Canopy Requirements

The proposed use does not include any buildings or parking lots for employees or visitors. The solar panels are to follow natural grade with no topsoil removal, except to install a central gravel drive for

maintenance purposes. Requiring additional tree coverage in the area of the array would conflict with the need to provide maximum year-round sun exposure to the solar array. Existing tree coverage on undeveloped areas of the site can count towards some of the required canopy coverage. Staff would support a variance to the full canopy coverage requirement.

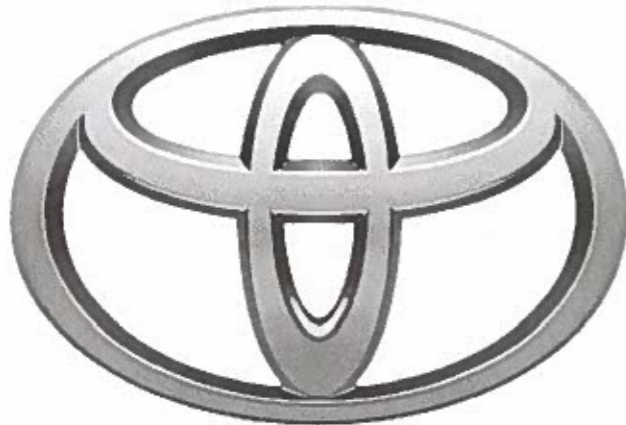
RECOMMENDATION:

Staff recommends the Planning Commission recommend **Approval** of the Preliminary Development Plan. Should the Planning Commission recommend approval, staff suggest adding the following conditions of approval.

Waiver: Perimeter Landscaping and Canopy Requirements

Conditions of Approval:

1. All applicable requirements of the *Zoning Ordinance* and *Subdivision & Development Regulations*.
2. Any revisions or amendments to the approved Preliminary Development Plan shall be reviewed and approved by the Planning Commission staff (minor) or by the Planning Commission (major).
3. Prior to (as part of) the Final Development Plan approval, the applicant shall provide the Planning Commission staff (GIS division) with a digital copy of the approved plan.
4. Prior to any construction or grading, a Final Development Plan, including all required construction plans, shall be approved by the Planning Commission staff and the applicant shall schedule a Pre-Construction Meeting with the Planning Commission Engineering Department to review construction policies and to establish inspection schedules. This includes a Grading Permit with fee and a Land Disturbance Permit with erosion control surety.
5. The Final Development Plan shall comply with all stormwater management requirements according to the current Stormwater Manual, as applicable.
6. Preliminary Development Plan approval is valid for two years, subject to the requirements of Article 406 section A of the *Subdivision and Development Regulations*.
7. The Final Development Plan shall have a specie specific Landscaping Plan in compliance with the *Landscaping & Land Use Buffers Ordinance*, if applicable.



TOYOTA TMMK AREA 51

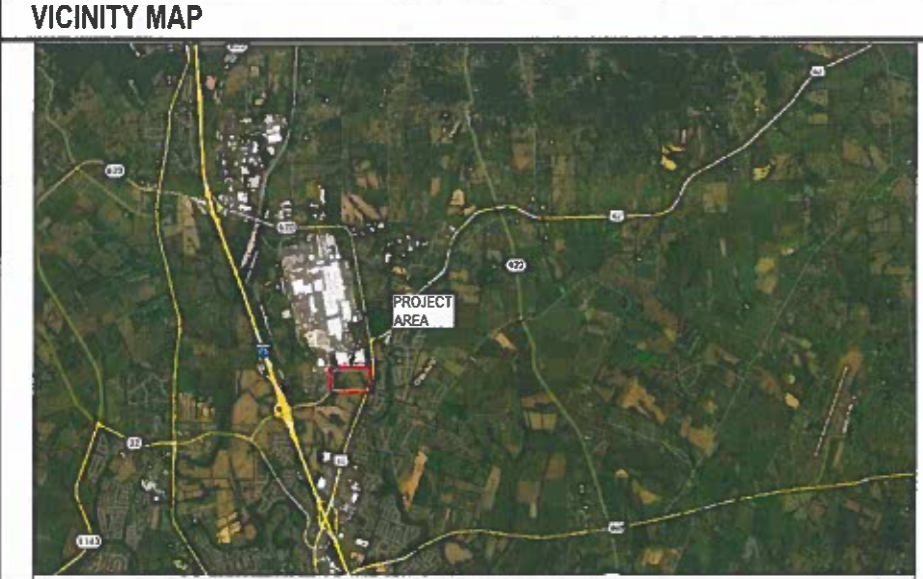
**SOLAR ELECTRIC SYSTEM - 8013.60 kW DC RATING
FUTURE SOLAR OPTION - 4082.4 kW DC RATING**

DRAWING INDEX	
Sheet Number	Sheet Title
G1001	COVER SHEET
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G1003	GENERAL NOTES
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G1005	STAGING PLAN
WD101	DEMOLITION PLAN
W1101	SITE PLAN
W1102.1	SITE PLAN ENLARGED
W1104.1	SIGNAGE PLAN
W1104.2	SIGNAGE PLAN
W1201	EQUIPMENT ELEVATIONS
WP101.1	MODULE STRINGING PLAN
WP101.2	MODULE STRINGING PLAN
WP101.3	MODULE STRINGING PLAN
WP101.4	MODULE STRINGING PLAN
W1105	LIGHTING PLAN
WP501.1	ELECTRICAL DETAILS
WP501.2	ELECTRICAL DETAILS
WP601.1	ELECTRICAL SLD
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WP601.4	ELECTRICAL SLD
WP601.5	ELECTRICAL SLD
WP602.1	ELECTRICAL 3LD
WP602.2	ELECTRICAL 3LD
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WP602.5	ELECTRICAL 3LD
WP602.6	ELECTRICAL 3LD
WP710.1	EQUIPMENT LABELING
WP710.2	EQUIPMENT LABELING
WP710.3	EQUIPMENT LABELING
WP711.1	EQUIPMENT LABELING
WP711.2	EQUIPMENT LABELING
WP712	EQUIPMENT LABELING
WK801	DATA SHEETS
WK802	DATA SHEETS
WK803	DATA SHEETS

DESIGN CRITERIA		
CODE/STANDARD	EDITION	ARTICLE/DESCRIPTION
Kentucky Building Code	2018	
National Electrical Code	2017	NEC Article 690, Solar Photovoltaic Systems and 705 Interconnected Electric Power Production Sources
Underwriter's Laboratory 1703	2002	Standard for Flat-Plate Photovoltaic Modules and Panels
Underwriter's Laboratory 1741	2010	Standard for Inverters, Converters, Controllers and Interconnection System Equipment for Use With Distributed Energy Resources
Institute of Electrical and Electronics Engineers 1547	2013	Standard for Interconnecting Distributed Resources with Electric Power Systems
National Fire Protection Agency 70E	2015	Standard for Electrical Safety in the Workplace
Occupational Safety and Health Administration 29CFR, 1926	2011	Construction Industry Safety Regulations

PROJECT SCOPE
Solar Electric System Scope:
The following design describes a solar PV system with an STC DC rating size of 8013.60 kW, and an AC rating of 6600 kW.
The installation consists of (11448) CANADIAN SOLAR CS7N-700MB-AG, 700W Photovoltaic Modules with an 180° azimuth. The modules are tilted 20° and use a fixed tilt racking system. The projects has an option for future expansion of (5832) modules for an additional 4,082.4kW.
(24) CHINT SCH275KTL-DO/US, UL1741 listed, grid tied inverters will receive the power from the photovoltaic array and a utility AC disconnect will isolate the system from the utility grid. There would be an additional (12) inverters for the future option.
The system will be interconnected to the existing electrical service at 13.2KVAC and will be operated in parallel with the local energy provider's electric grid per the requirements of the NEC.

PROJECT TEAM
SITE CONTACT:
TOYOTA
151 Engineering Way
Georgetown, KY 40324
SOLAR CONSTRUCTION FIRM:
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1301 Capital of TX Hwy S #B315
Austin, Texas 78746
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Planning - Environmental & Facilities
Cell: (859) 559-5816
Project Managers:
Designers:
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Jack Culberson-Jack.Culberson@HoltRenewables.com
Engineer of Record:
Alison Kimball, P.E.
(732) 894-5061
KY License:#####



HOLT Renewables
1301 Cap. O TX Hwy S #B315
Austin, TX 78746
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PROJECT: TMMK AREA 51 SOLAR PROJECT
8013.60 kW DC STC RATING
OUTER RING RD

REV	DATE	BY	CHK	APP	DESCRIPTION
1	02/20/2024	BNW	30%	ISSUED FOR REVIEW WITH TOYOTA COMMENTS	
2	03/27/2024	BNW	60%	ISSUED FOR REVIEW	
3	04/19/2024	BNW	60%	ISSUED FOR REVIEW	
4	05/20/2024	BNW	30%	ISSUED FOR REVIEW WITH TOYOTA COMMENTS	

PROJECT NO.:
PHASE:
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SCALE: ARCH D
SHEET SIZE: ARCH D
SHEET TITLE: COVER SHEET
SHEET NO.: G1001

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C:\Users\jdd\OneDrive\Documents\Projects\G1002 SYMBOLS AND ABBREVIATIONS.dwg 5/20/24 - 10:28am

SYMBOLS:

ABBREVIATIONS:

- SECTION: DETAIL I.D. LETTER, SHEET LOCATION
- ELEVATION: DETAIL I.D. LETTER, SHEET LOCATION
- DETAIL: DETAIL I.D. LETTER, SHEET LOCATION
- DETAIL (ENLARGED PLAN): DETAIL I.D. LETTER, AREA TO BE ENLARGED, SHEET LOCATION
- TAG: SAME SHEET I.D. LETTER
- KEYED NOTES: 1
- REVISIONS: ADDENDUM NUMBER, REVISED AREA CLOUDED
- GROUND TERMINAL: G
- GROUNDING POINT/ROD:
- SOLAR PANEL: LOCATION IN STRING
- MODULE STRINGING: STRING I.D. NUMBER, SOURCE CIRCUIT
- BLADE DISCONNECT: CURRENT RATING
- FUSED DISCONNECT: FUSE RATING
- OVERCURRENT BREAKER: BREAKER RATING
- DC TO AC INVERTER:
- METER:
- PULL BOX: PB.01 NUMBER
- COMMUNICATIONS PULL BOX: PBC.01 NUMBER
- COMBINER BOX: CB.01 NUMBER
- DC COMBINER BOX: DCB.01 NUMBER
- DC COMBINER DISCONNECT: DCD.01 NUMBER
- INVERTER: INV.01 NUMBER

D		E		MECH RM		STC	
1P	SINGLE POLE	EA	EACH	MFR	MECHANICAL ROOM	STD	STANDARD TEST CONDITIONS
1PH	SINGLE-PHASE	EL	ELEVATION	MFR	MANUFACTURER	STD	STANDARD
3C	THREE-CONDUCTOR	EJ	EXPANSION JOINT	MH	MANHOLE	SW	SWITCH
3P	THREE POLE	ELEC	ELECTRIC	MIN	MINIMUM	SWBD	SWITCHBOARD
3PH	THREE-PHASE	EMS	ENERGY MANAGEMENT SYSTEM	MISC	MISCELLANEOUS	SYM	SYMBOL
3W	THREE-WIRE	EMT	ELECTRICAL METALLIC TUBING	MNCB	MAIN COMBINER BOX	T	T
4W	FOUR-WIRE	ENCL	ENCLOSURE	MOCPP	MAXIMUM OVERCURRENT PROTECTION	TBD	TO BE DETERMINED
A	AMPERE	ENT	ELECTRICAL NONMETALLIC TUBING	MTL	METAL	TEMP	TEMPERATURE
AC UNIT	AIR CONDITIONING UNIT	EPB	ELECTRICAL PANEL BOARD	MTLR	METAL ROOF	TMP	TEMPORARY
AC	ALTERNATING CURRENT	EQ	EQUAL	MW	MEGAWATT	THWN	MOISTURE AND HEAT RESISTANT THERMOPLASTIC
ACD	AC DISCONNECT	EQUIP	EQUIPMENT	MWh	MEGAWATT HOUR	THRU	THROUGH
ACP	AC PANELBOARD	EQUIV	EQUIVALENT	NA	NOT APPLICABLE	TOP	TOP OF PARAPET
ADDL	ADDITIONAL	EST	ESTIMATE	NEG	NEGATIVE	TYP	TYPICAL
ADDM	ADDENDUM	EXST	EXISTING	NEC	NATIONAL ELECTRICAL CODE	U	U
AFG	ABOVE FINISHED GRADE	EXST GR	EXISTING GRADE	NEG	NEGATIVE	UG	UNDERGROUND
AH	AMPERE HOUR	EXT	EXTERIOR	NEUT	NEUTRAL	UGPB	UNDERGROUND PULL BOX
AHJ	AUTHORITY HAVING JURISDICTION	F	FAHRENHEIT	NFSD	NONFUSED	UL	UNDERWRITERS LABORATORIES
AL	ALUMINUM	FF	FINISH FLOOR	NIC	NOT IN CONTRACT	UNO	UNLESS NOTED OTHERWISE
AMP	AMPERE	FIN GR	FINISH GRADE	NOCT	NOMINAL OPERATING CELL TEMPERATURE	UP	UTILITY POLE
AMT	AMOUNT	FLR	FLOOR	NTS	NOT TO SCALE	UTIL	UTILITY
APPROX	APPROXIMATE	FS	FULL SCALE	O	O	V	VOLTAGE
AR	AS REQUIRED	FT	FOOT, FEET	OAE	OR APPROVED EQUAL	V	VOLTAGE
ART	ARTICLE	FU SW	FUSED SWITCH	OC	ON CENTER	VAC	VOLTS ALTERNATING CURRENT
AWG	AMERICAN WIRE GAUGE	G	G	OCPP	OVER CURRENT PROTECTION DEVICE	VDC	VOLTS DIRECT CURRENT
ASSY	ASSEMBLY	GALV	GALVANIZED	OD	OUTSIDE DIAMETER, DIMENSION	VD	VOLTAGE DROP
AUTO	AUTOMATIC	GC	GENERAL CONTRACTOR	OH	OVERHEAD	VIF	VERIFY IN FIELD
AUX	AUXILIARY	GFCI	GROUND FAULT CIRCUIT INTERRUPTER	OPP	OPPOSITE	VOLT	VOLTAGE
AVG	AVERAGE	GL	GROUND LEVEL	OPT	OPTIONAL	VRFY	VERIFY
AZ	AZIMUTH	GUT	GUTTER	OSHA	OCCUPATIONAL SAFETY & HEALTH ADMINISTRATION	VS	VENT STACK
B	B	H	H	OVC	OVERCURRENT	W	W
BFBKR	BACKFED BREAKER	HAZ MAT	HAZARDOUS MATERIALS	P	POLE	W	WITH
BLDG	BUILDING	HDPE	HIGH DENSITY POLYETHYLENE	PAR	PARAPET	W/O	WITHOUT
BNDG	BONDING	HORIZ	HORIZONTAL	PB	PULL BOX	W	WATT
BOT	BOTTOM	HT	HEIGHT	PERIM	PERIMETER	X	X
BRKR	BREAKER	HVAC	HEATING, VENTILATING, AND AIR CONDITIONING	PH	PHASE	XFMR	TRANSFORMER
BTWN	BETWEEN	HWY	HIGHWAY	PKG	PACKAGE	XHHW	MOISTURE RESISTANT THERMOSET
C	C	Hz	HERTZ	PM	PHASE METER	XLPE	CROSS-LINKED POLYETHYLENE
CB	COMBINER BOX	I	I	PNL	PANEL		
CEC	CALIFORNIA ELECTRICAL CODE	ID	IDENTIFICATION	POCC	POINT OF COMMON COUPLING		
CENC	CALIFORNIA ENERGY COMMISSION	IMC	INTERMEDIATE METAL CONDUIT	POI	POINT OF INTERCONNECTION		
CJ	CONTROL JOINT	INCL	INCLUDED	PRELIM	PRELIMINARY		
CKT BRKR	CIRCUIT BREAKER	INFO	INFORMATION	PTC	PV FOR UTILITY SCALE APPLICATIONS TEST CONDITIONS		
CL	CENTER LINE	INSL	INSTALL	PV	PHOTOVOLTAIC		
CMU	CONCRETE MASONRY UNIT	INT	INTERIOR	PVC	POLYVINYL CHLORIDE (PLASTIC)		
CND	CONDUIT	INV	INVERTER	PWR	POWER		
COMM	COMMUNICATIONS	J	J	Q	Q		
CONC	CONCRETE	J	JUNCTION BOX	QLTY	QUALITY		
CONT	CONTINUE	K	K	QTY	QUANTITY		
CT	CURRENT TRANSFORMER	KW	KILOWATT	R	R		
CTR	CENTER	KWh	KILOWATT HOUR	RD	ROOF DRAIN		
CU	COPPER	L	L	REINF	REINFORCE		
DBL	DOUBLE	LA	LIGHTNING ARRESTER	REV	REVISION		
DC	DIRECT CURRENT	LAT	LATITUDE	RFI	REQUEST FOR INFORMATION		
DCB	DC COMBINER BOX	LP	LIGHT POLE	RFP	REQUEST FOR PROPOSAL		
DCD	DC COMBINER DISCONNECT	LTD	LIMITED	RH	ROOF HATCH		
DET	DETAIL	LTNG	LIGHTNING	RST	REINFORCING STEEL		
DIA	DIAMETER	M	M	RMC	RIGID METAL CONDUIT		
DIAG	DIAGRAM	MATL	MATERIAL	RTU	ROOF TOP UNIT		
DIM	DIMENSION	MAX	MAXIMUM	S	S		
DISC	DISCONNECT	MC	METAL-CLAD	SCHED	SCHEDULE		
DS	DISCONNECT SWITCH	MCB	MAIN CIRCUIT BREAKER	SF	SQUARE FOOT/FEET		
DWG	DRAWING	MECH	MECHANICAL	SIM	SIMILAR		
		MECH RM	MECHANICAL ROOM	SKLT	SKYLIGHT		
				SS	STANDING SEAM ROOF		
				SST	STAINLESS STEEL		
				STC	STANDARD TEST CONDITIONS		



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TOYOTA
THANK AREA 51 SOLAR PROJECT
8013.60 KW DC STC RATING
OUTER RING RD

DATE	DESCRIPTION	BY	CHK
02/28/2024	PLANNING COMMISSION COMMENTS	JC	JC
04/15/2024	BMV 60% ISSUED FOR REVIEW	JC	JC
03/28/2024	BMV 30% ISSUED FOR REVIEW WITH	CH	CH
02/20/2024	TOYOTA COMMENTS	CH	CH

PROJECT NO:
PHASE:
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SCALE: ARCH D - 2
SHEET SIZE: ARCH D - 2
SHEET TITLE: SYMBOLS AND ABBREVIATION:

G1002

GENERAL NOTES:

PROCEDURAL NOTES:

- P1. PRIOR TO COMMENCEMENT OF ANY WORK, THE CONTRACTOR SHALL NOTIFY HOLT OF ANY DISCREPANCIES DISCOVERED BETWEEN THESE PLANS AND THE SITE CONDITIONS...

GENERAL NOTES:

- G1. ALL WORK SHALL BE PERFORMED IN A SAFE, EFFICIENT, AND WORKMAN LIKE MANNER.
- G2. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL EQUIPMENT AND FOLLOWING ALL MANUFACTURER'S OR ENGINEER'S DIRECTIONS AND INSTRUCTIONS SHOWN HERE.

- G15. ELECTRICAL CONTRACTOR SHALL COORDINATE EQUIPMENT ACCEPTANCE TESTING AND COMMISSIONING WITH HOLT.
- G16. THE CONTRACTOR IS RESPONSIBLE FOR MOUNTING ALL EQUIPMENT PER THE ENGINEER'S REPORT OR MANUFACTURER'S SPECIFICATIONS...

- G19. ALL MATERIAL SHALL BE NEW AND RATED FOR UV EXPOSURE WHERE EXPOSED TO SUNLIGHT.
- G20. CONSTRUCTION STAGING OF CONCENTRATED LOADS ON ROOF SHALL BE MINIMIZED.

ELECTRICAL NOTES:

- E1. IN EVERY PULL BOX, TERMINAL BOX, AND AT ALL PLACES WHERE CONDUCTORS MAY NOT BE READILY IDENTIFIED BY NAMEPLATE MARKINGS...
- E2. THE LAYOUT OF CONDUIT SHOWN IN THESE PLANS IS INDICATIVE ONLY.

- E8. SUPPORT CONDUIT USING STEEL PIPE STRAPS (OAE), LAY-IN ADJUSTABLE HANGERS, CLEVIS HANGERS OR SPLIT-HANGERS.
- E9. PROVIDE PULL, JUNCTION, OR CHRISTY BOXES WHERE REQUIRED TO FACILITATE THE INSTALLATION OF CONDUCTOR IN ADDITION TO THOSE SHOWN ON THE DRAWINGS.

- E18. ALL CONDUITS SHALL BE FREE OF ANY OBSTRUCTIONS AND PROPERLY SECURED BEFORE CONDUCTOR IS PULLED.
- E19. ELECTRICAL CONTRACTOR SHALL PROVIDE SIGNAGE TO ALL ELECTRICAL BOXES, JUNCTION BOXES, PULL BOXES, DC DISCONNECTS, CONDUIT RUNS, AC DISCONNECTS, SUB PANELS AND MAIN SERVICES PER NEC ARTICLE 690.

- E22. TORQUE: ALL CONDUCTORS LANDING IN SCREW CONNECTIONS MUST BE PROPERLY TIGHTENED TO THE MANUFACTURER'S TORQUE REQUIREMENTS.
- E23. ALL METALLIC ENCLOSURES SHALL BE GROUNDED PER NEC ART. 250.

10 AWG PV WIRE CONDUIT FILL table with columns: CONDUIT SIZE, EMT, IMC, RMC, PVC40, HDPE, LFMC

- E26. CONTRACTOR SHALL NOT USE IMPACT DRIVERS ON INVERTERS OR WIRING BOXES.
- ROOFING AND SEALING NOTES: (IF APPLICABLE)

- R1. A POLYURETHANE BASED ADHESIVE SHALL BE APPLIED TO ANY DRILLED HOLE FOR FASTENING.
- R2. ALL STANDOFFS SHALL BE MADE WATERTIGHT USING APPROVED METHODS BY THE ROOFING MATERIAL MANUFACTURER, DISTRIBUTOR OR ENGINEER OF RECORD.

MODULE INSTALLATION NOTES:

- M1. REFER TO THE MODULE MANUAL FOR DETAILS ON RIGGING, UNPACKING, HANDLING, PLANNING, AND INSTALLATION.
- M2. THE MODULES MAY BE SHIPPED WITH SEVERAL MODULES PER BOX. TAKE CARE WHEN OPENING THE BOX TO ENSURE THAT ALL MODULES ARE SECURELY HANDLED.

GENERAL SAFETY NOTE:

THE ARRAY LAYOUT INCORPORATES DESIGN CONSIDERATIONS SET-FORTH BY THE CALIFORNIA DEPARTMENT OF FORESTRY AND FIRE PROTECTION, THE CFC AND THE IFC. THESE GUIDELINES INCLUDE OFFSETS AND AISLE-WAYS TO ACCOMMODATE MOVEMENT ACROSS THE ROOF-TOP IN THE EVENT OF A FIRE...



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Revision table with columns: NO., DATE, DESCRIPTION, BY, CHECKED BY

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SHEET NO: G1003

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PV SOLAR SYSTEM SUMMARY	
(TOTAL MODULE COUNT) MODULE MANF. & MODEL NUMBER / STC DC RATING	(11448) CANADIAN SOLAR CS7N-700MB-AG 700W (4) DUMMY MODULES (5832) MODULES FOR FUTURE EXPANSION (4.082MW)
TOTAL STRINGS OF MODULES PER STRING	424 STRINGS OF 27
PV ARRAY RACKING STYLE / MANUFACTURER AND MODEL	FIXED TILT / TBD
TOTAL STC DC SYSTEM SIZE	8013.80 kW
(TOTAL INVERTER COUNT) INVERTER MANF. AND MODEL	(24) CHINT CPS SCH275KTL-DOUS-800-24
INVERTER CEC EFFICIENCY	98.5% (275kW)
SITE LATITUDE	38°14'45.92"N
ARRAY AZIMUTH / MODULE TILT	180° / 20°
ASHRAE DESIGN TEMPERATURE EXTREME MIN. / 2% HIGH	-19°C/33°C
INTERCONNECTION VOLTAGE	13.2 KVAC 3φ
INTERCONNECTION OCPD RATING	600A
INTERCONNECTION TYPE	BACK-FED BREAKER

D3 SITE PLAN - SUMMARY
SCALE: NTS

GENERAL SHEET NOTES

- ALL DIMENSIONS ARE APPROXIMATE AND MUST BE FIELD VERIFIED.
- CONDUIT AND PULL BOXES SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING NEC ARTICLES: 342.26 FOR IMC, 344.26 FOR RMC, 352.26 FOR PVC, 353.26 FOR HDPE, 358.26 FOR EMT CONDUIT, AND 314.28-314.30 FOR PULLBOXES.
- IMPACT DRIVERS ARE NOT APPROVED FOR USE ON INVERTERS OR WIRING BOXES.



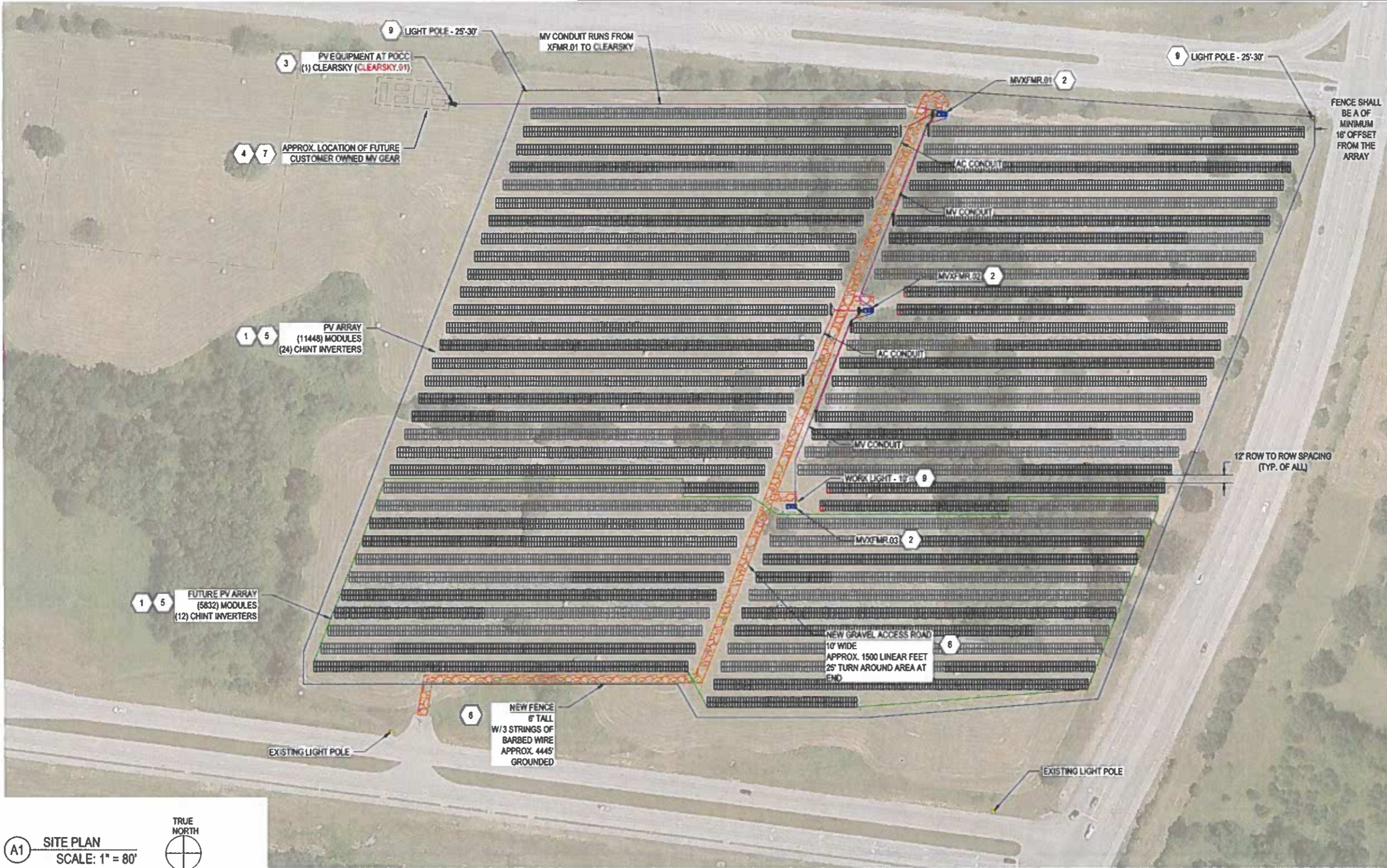
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SHEET KEYNOTES

- INVERTERS AND AGGREGATION PANELS SHALL BE RACK MOUNTED USING THE CPS CLUSTER MOUNTING BRACKET UTILIZING DRIVEN PILES
- SKIDS WITH INTEGRATED OIL-FILLED TRANSFORMERS SHALL DEPLOY A CONTAINMENT METHOD INSTALLED BY MANUFACTURER AT FACTORY
- CLEARSKY AT POCC TO BE PAD MOUNTED
- SWITCHGEAR SHALL BE PAD SKID MOUNTED
- DAS EQUIPMENT SHALL BE RACK MOUNTED
- TREES TO BE REMOVED. FIELD VERIFY EXACT LOCATION AND QUANTITY
- MV SWITCHGEAR TO BE PROVIDED BY CUSTOMER
- MV CONDUIT AND LV CONDUIT UNDER ROADS TO BE CONCRETE ENCASED
- LIGHT POLES FOR SECURITY TO BE 25'-30' ABOVE GRADE, FIXTURE-TBD, (APPROX.-2). WORK LIGHTS AROUND EQUIPMENT PADS TO BE 10' ABOVE GRADE, (APPROX.-3).



A1 SITE PLAN
SCALE: 1" = 80'



TOYOTA

CLIENT:

PROJECT:

REV	DATE	BY	CHK	APP	DESCRIPTION
1	05/28/2024	LE	JC	AP	PLANNING COMMISSION COMMENTS
2	04/18/2024	LE	JC	AP	BANK 80% ISSUED FOR REVIEW
3	03/29/2024	LE	JC	AP	BANK 30% ISSUED FOR REVIEW WITH
4	03/29/2024	LE	JC	AP	TOYOTA COMMENTS

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SHEET SIZE: ARCH D - 2
SHEET TITLE: SITE PLAN

SHEET NO:
W1101

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CONFIDENTIAL - INFORMATION

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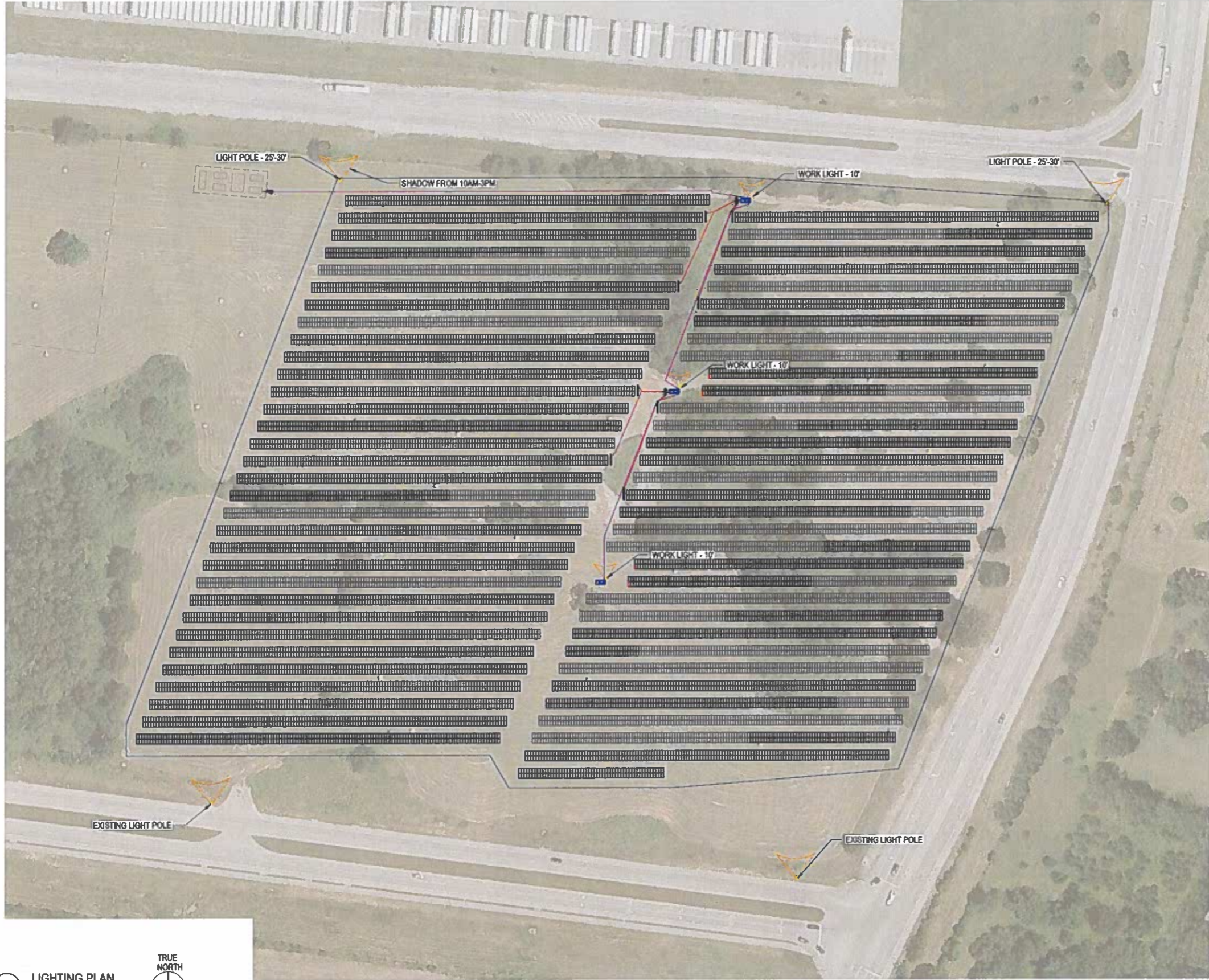
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A1 LIGHTING PLAN
 Scale: 3/256" = 1'-0"



GENERAL SHEET NOTES

1. FIELD VERIFY LOCATIONS AND QUANTITIES OF ALL EXISTING EQUIPMENT AND TREES. CONTRACTOR SHALL NOTIFY PCI AND RECEIVE APPROVAL FROM PCI PRIOR TO DEMOLITION.
2. ALL 120V CONVENIENCE PLUGS TO REMAIN IN SERVICE.
3. LIGHTING TO ALL STRUCTURES SHALL BE FED FROM NEW CIRCUITS.



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SHEET KEYNOTES

LEGEND

- SWITCHED HOT CONDUCTORS (TRAILING NEUTRAL)
- NEUTRAL CONDUCTOR
- UNSWITCHED HOT CONDUCTORS (LEADING NEUTRAL)
- HOMERUN TO PANELBOARD:**
 ARROWS INDICATE NUMBER OF CIRCUITS.
 HASH MARKS INDICATE NUMBER OF CONDUCTORS.
 INFORMATION AT ARROWS ARE CIRCUIT NUMBERS AND PANELBOARD.
- EQUIPMENT GROUNDING CONDUCTOR IN CONDUIT (GREEN INSULATION OR BARE)
- LIGHTING CONDUIT
- LIGHTING FIXTURE
- LIGHT PULL / JUNCTION BOX
- LIGHT POLE (EXST)
- DUPLEX RECEPTACLE (EXST)

TOYOTA

TMAR AREA 51 SOLAR PROJECT
 8013.80 HW DC STC RATING
 OUTER RING RD

CLIENT:

PROJECT:

PHASE:

PLANNING COMMISSION COMMENTS

DATE:

06/18/2024
 06/18/2024
 07/29/2024
 07/29/2024

SCALE:

AS NC

SHEET SIZE:

ARCH D - 2

SHEET TITLE:

LIGHTING PLAN

SHEET NO:

W1105

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A

GENERAL SHEET NOTES

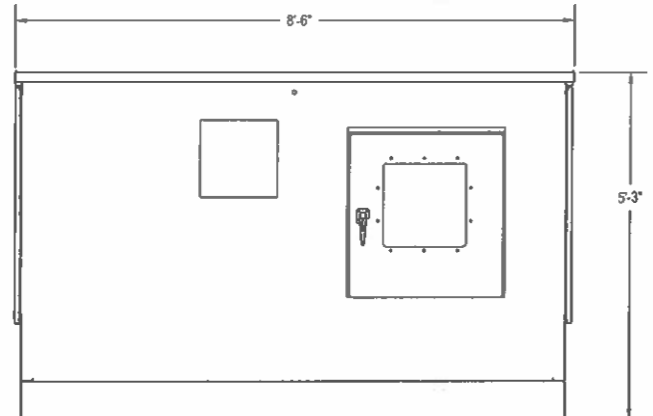
1. DISPLAY A PERMANENT PLAQUE OR DIRECTORY PROVIDING THE LOCATION OF THE UTILITY SERVICE DISCONNECTING MEANS AND THE PHOTOVOLTAIC DISCONNECTING MEANS IF NOT LOCATED AT THE SAME LOCATION.
2. ALL DIMENSIONS ARE APPROXIMATE AND MUST BE FIELD VERIFIED.
3. ALL SOLAR PV EQUIPMENT SHALL HAVE A MINIMUM WORKING CLEARANCE OF 36 INCHES IN FRONT AND 6 INCHES ON EACH SIDE.
4. METERS SHALL NOT BE INSTALLED WITHIN 4 FEET (MEASURED HORIZONTALLY) OF GAS REGULATORS AND RELIEF VALVES.
5. SOLAR PV EQUIPMENT WITH A READOUT DISPLAY WILL TYPICALLY BE MOUNTED WITH THE DISPLAY AT EYE LEVEL, APPROXIMATELY 63-65 INCHES. OTHER EQUIPMENT WILL BE MOUNTED A MINIMUM OF 18 INCHES FROM GRADE/GROUND UNLESS OTHERWISE SPECIFIED BY NEC CODE.



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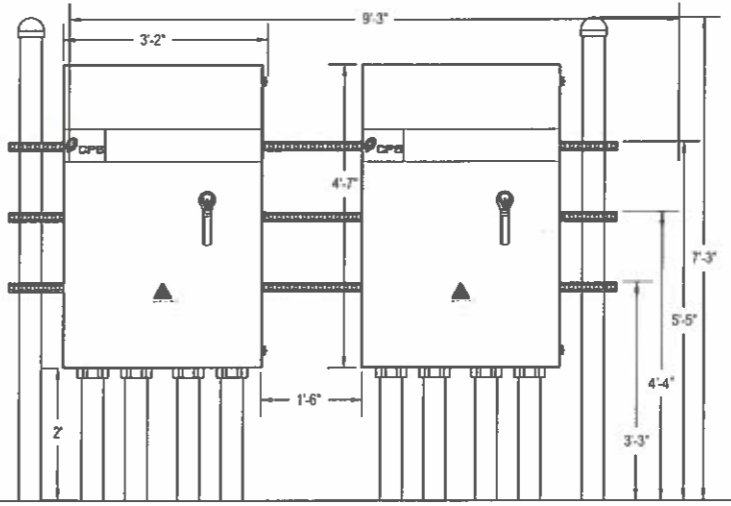
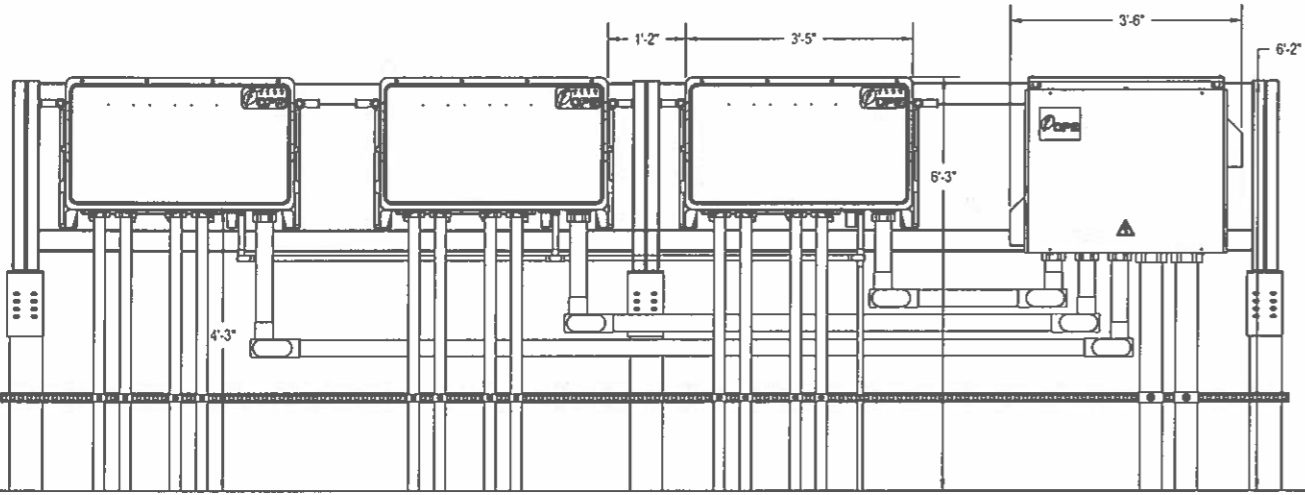
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GRADE GRADE

C1 EQUIPMENT ELEVATIONS - CLEARSKY NEAR POI
Scale: 3/4" = 1'-0"

C4 EQUIPMENT ELEVATIONS -
Scale: 1/4" = 1'-0"



GRADE GRADE

A1 EQUIPMENT ELEVATIONS - INVERTERS AND BREAKER BOX
Scale: 3/4" = 1'-0"

A4 EQUIPMENT ELEVATIONS - AC DISCONNECTS
Scale: 3/4" = 1'-0"

TOYOTA

TMHK AREA 51 SOLAR PROJECT
8013.60 KW DC STC RATING
OUTER RING RD

CLIENT: PROJECT:

NO.	DATE	BY	CHK	APP	DESCRIPTION
1	02/20/2024	JC	JC	AP	PLANNING COMMISSION COMMENTS
2	04/18/2024	BW	JC	AP	BW 50% ISSUED FOR REVIEW
3	02/20/2024	BW	CH	AP	BW 50% ISSUED FOR REVIEW WITH TOYOTA COMMENTS
4	02/20/2024	CH	CH	AP	TOYOTA COMMENTS

PROJECT NO:
PHASE:
COPYRIGHT: HoltRenewables,
SCALE: AS SH
SHEET SIZE: ARCH D - 2
SHEET TITLE:

EQUIPMENT ELEVATIONS

W1201

1

2

3

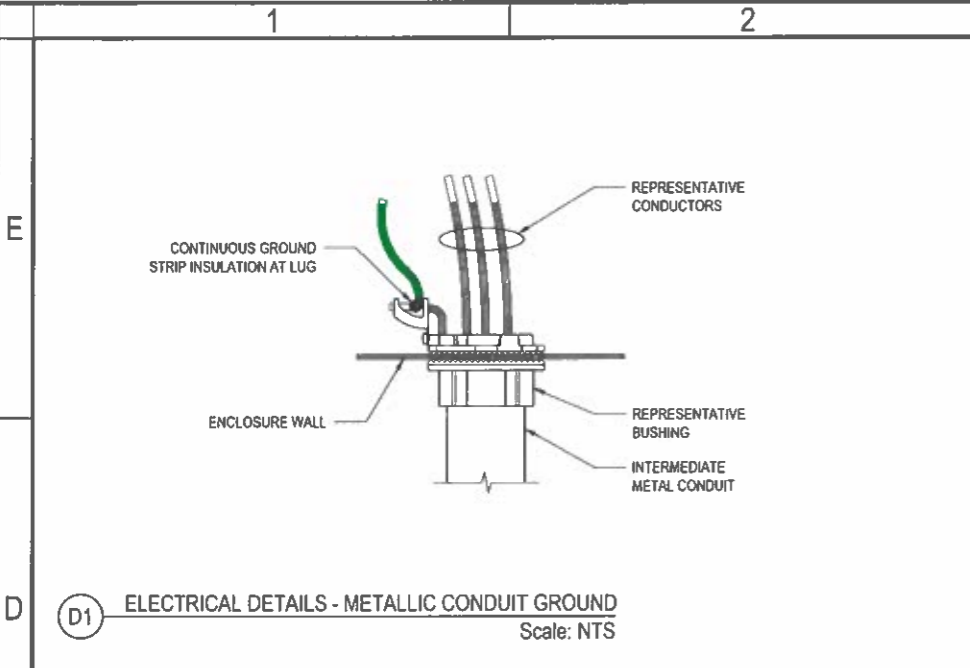
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5

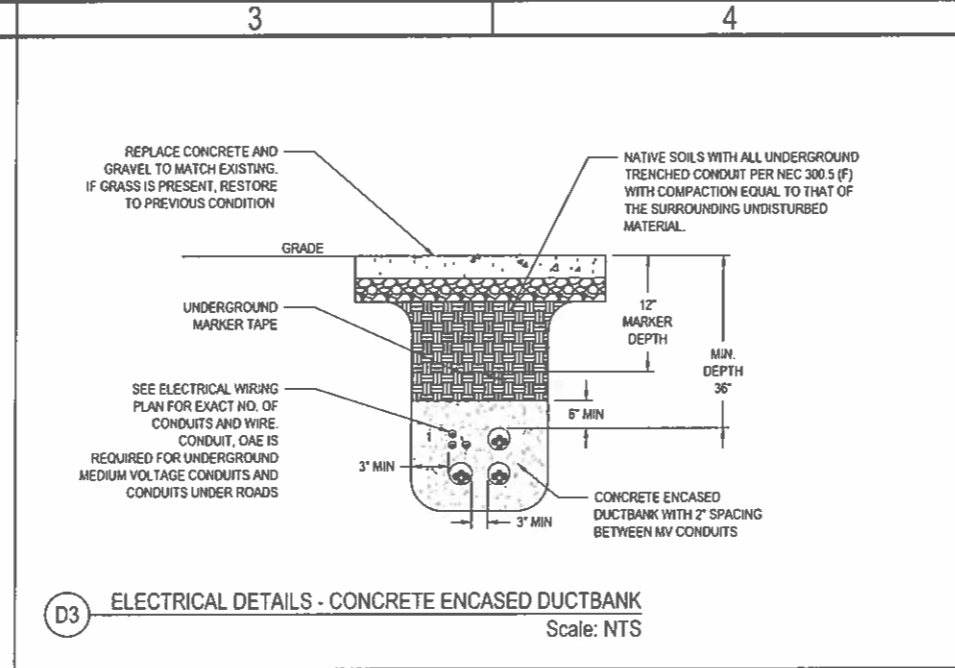
6

C:\Users\lisa.colson\OneDrive\Documents\W1201 EQUIPMENT ELEVATIONS.dwg 5/6/24 - 10:28am

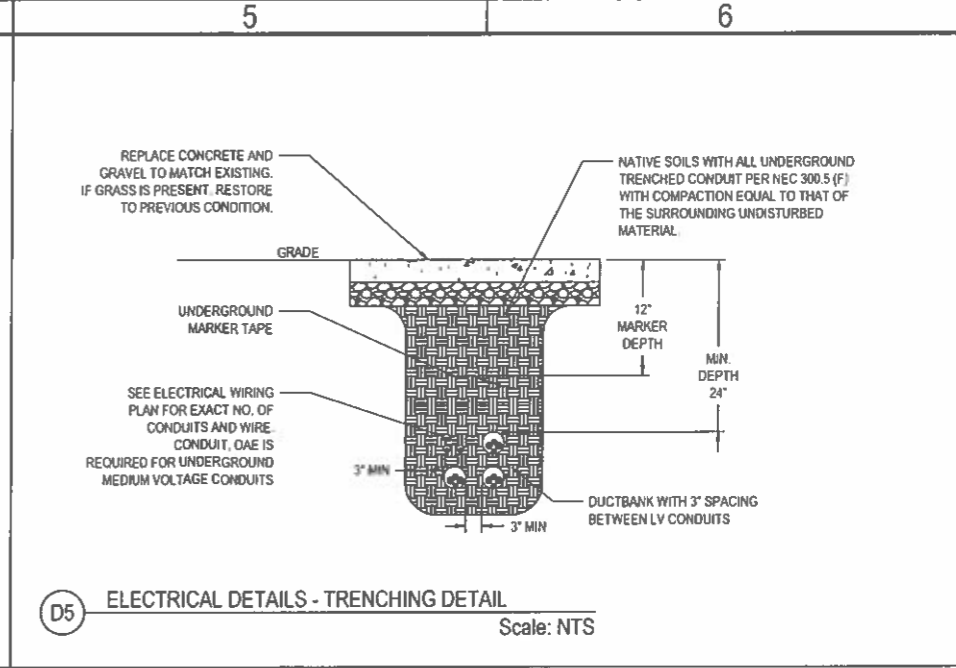
C:\Users\jacob.culbertson\Desktop\WP501\13_Sheet\WP501 ELECTRICAL DETAILS.dwg 5/29/24 - 10:30am
 CONFIDENTIAL - PROPRIETARY



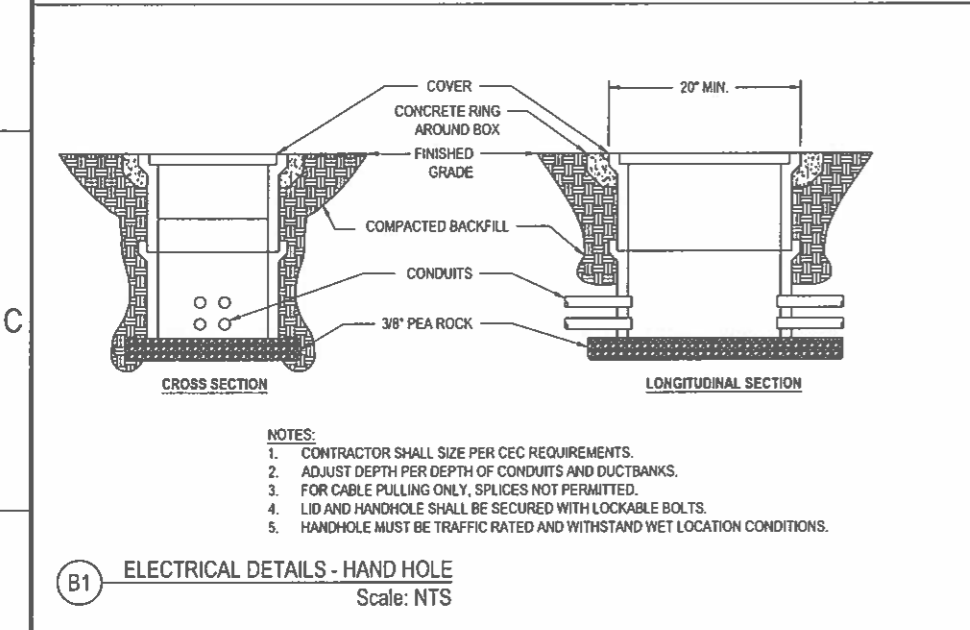
D1 ELECTRICAL DETAILS - METALLIC CONDUIT GROUND
Scale: NTS



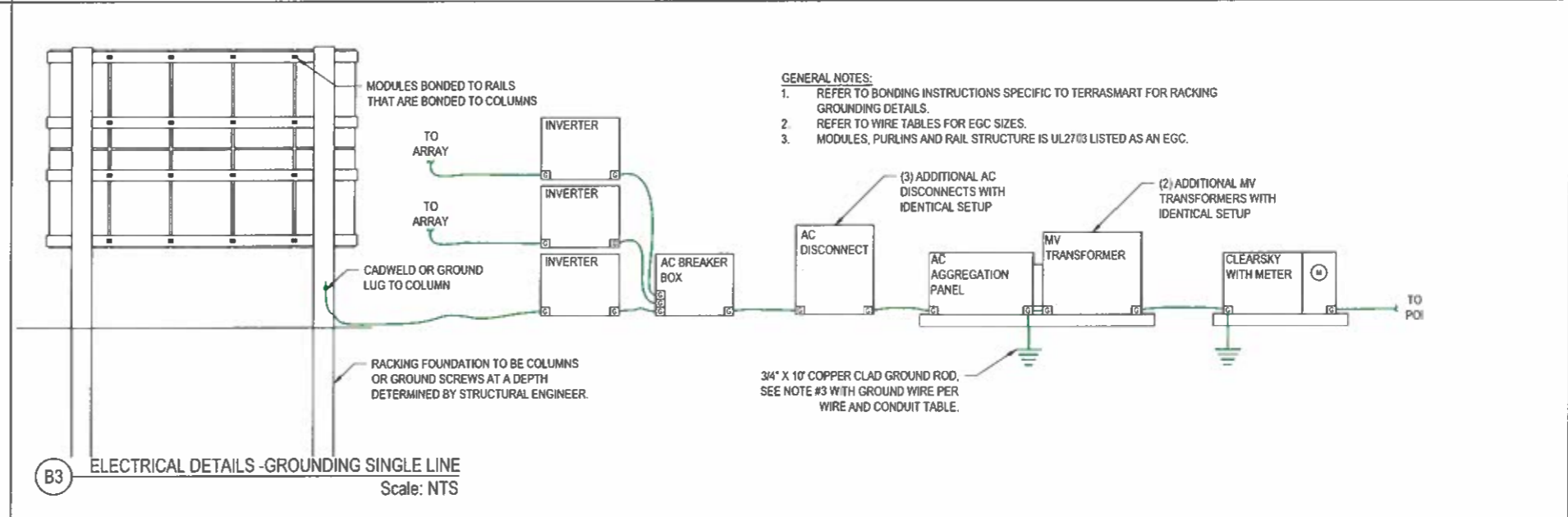
D3 ELECTRICAL DETAILS - CONCRETE ENCASED DUCTBANK
Scale: NTS



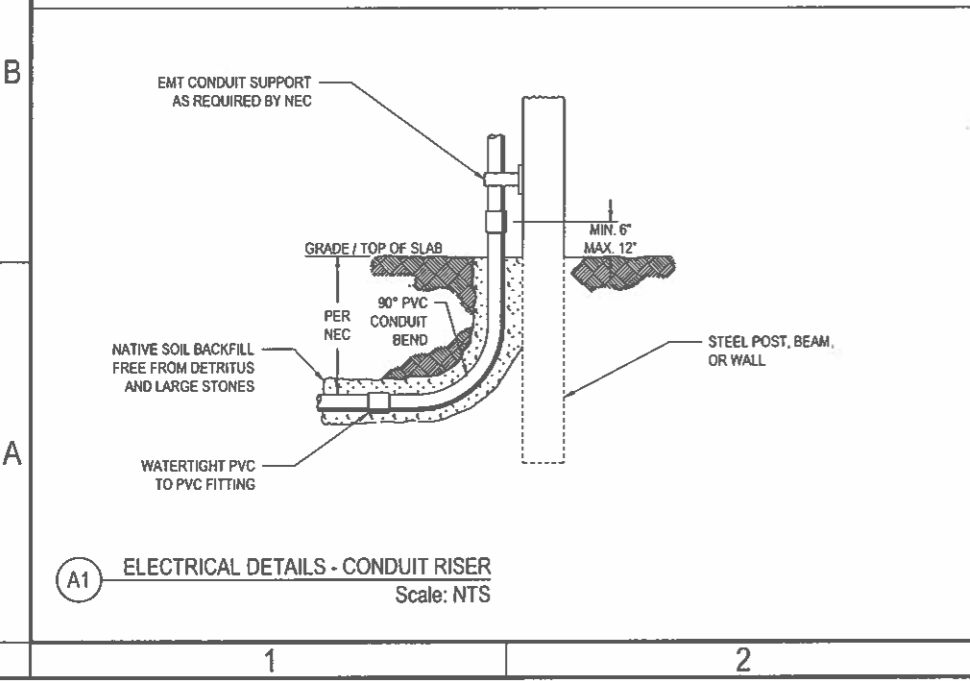
D5 ELECTRICAL DETAILS - TRENCHING DETAIL
Scale: NTS



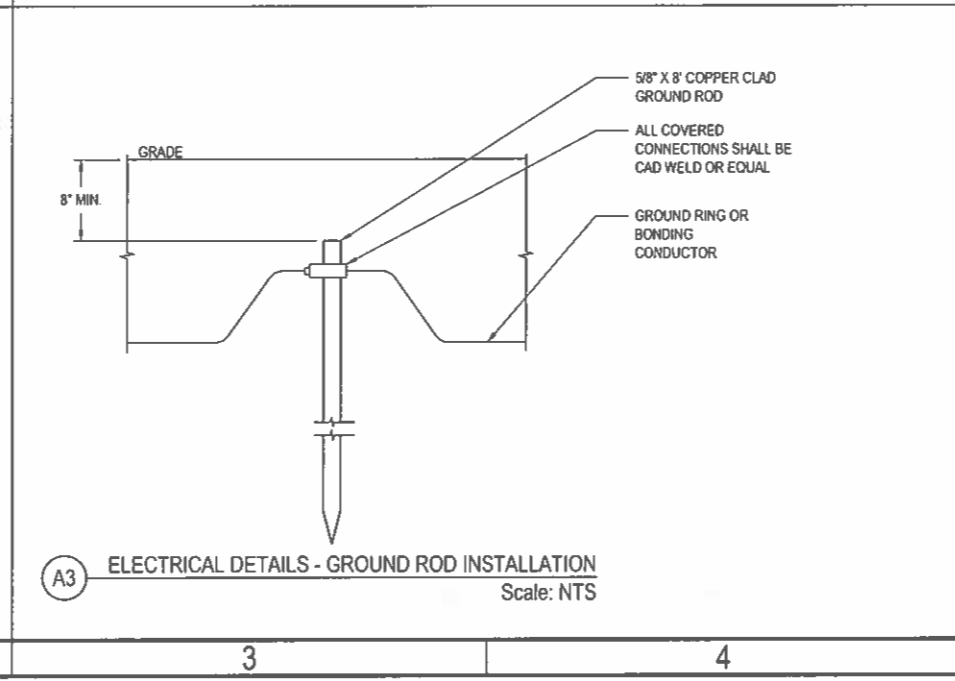
B1 ELECTRICAL DETAILS - HAND HOLE
Scale: NTS



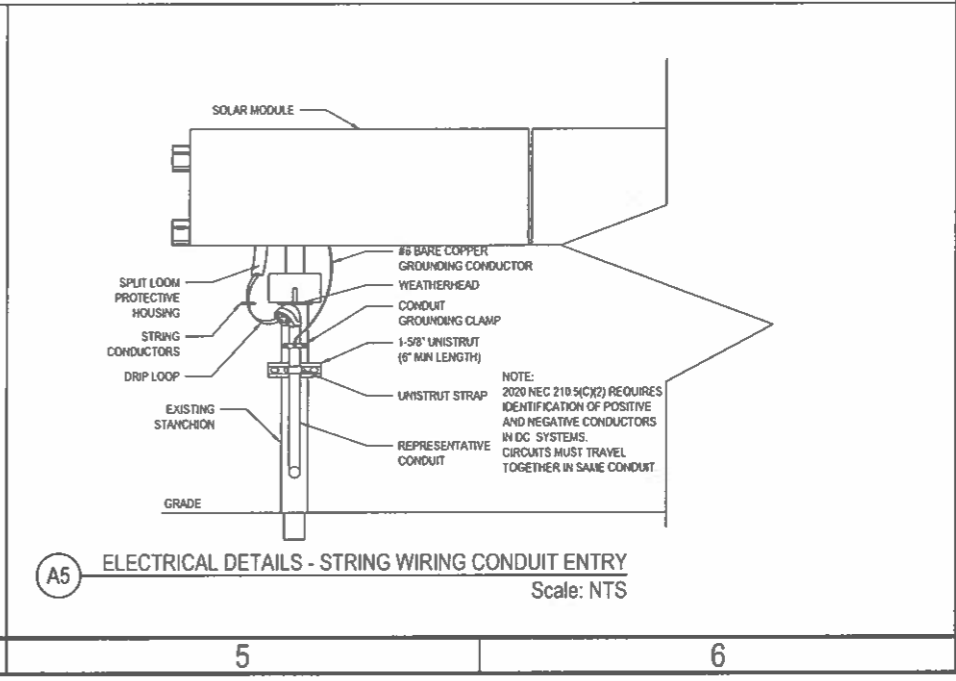
B3 ELECTRICAL DETAILS - GROUNDING SINGLE LINE
Scale: NTS



A1 ELECTRICAL DETAILS - CONDUIT RISER
Scale: NTS



A3 ELECTRICAL DETAILS - GROUND ROD INSTALLATION
Scale: NTS



A5 ELECTRICAL DETAILS - STRING WIRING CONDUIT ENTRY
Scale: NTS



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CLIENT: TOYOTA
PROJECT: TMKW AREA 51 SOLAR PROJECT
8013.60 KW DC STC RATING
OUTER RING RD

REV	DATE	BY	CHK	APP	DESCRIPTION
1	03/29/2024	PLANNING COMMISSION COMMENTS			
2	04/19/2024	BWV 67% ISSUED FOR REVIEW			
3	03/29/2024	BWV 30% ISSUED FOR REVIEW WITH			
4	03/29/2024	TOYOTA COMMENTS			

PROJECT NO:
PHASE:
COPYRIGHT: HoltRenewables,
SCALE: AS NT
SHEET SIZE: ARCH D - 2
SHEET TITLE:

ELECTRICAL
DETAILS

SHEET NO:
WP501.1

C:\Users\jacob.caberton\Desktop\WP501\WP501 ELECTRICAL DETAILS.dwg 5/28/24 - 10:38am

STAMP:

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CONSTRUCTION

CLIENT: **TOYOTA**
PROJECT: TMARK AREA 51 SOLAR PROJECT
8013.60 KW DC STC RATING
OUTER RING RD

REVISIONS:

NO.	DATE	BY	CHK	APP	DESCRIPTION
1	05/28/2024	JC	AP		PLANNING COMMISSION COMMENTS
2	07/18/2024	JC	AP		BAY 80% ISSUED FOR REVIEW
3	03/28/2024	CH	CH		BAY 30% ISSUED FOR REVIEW WITH
4	02/20/2024	CH	CH		TOYOTA COMMENTS

PROJECT NO:
PHASE:
COPYRIGHT: HoltRenewables, AS INC
SCALE: AS SHOWN
SHEET SIZE: ARCH D - 2
SHEET TITLE:

**ELECTRICAL
DETAILS**

SHEET NO:
WP501.2

1 2 3 4 5 6

E

D

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B

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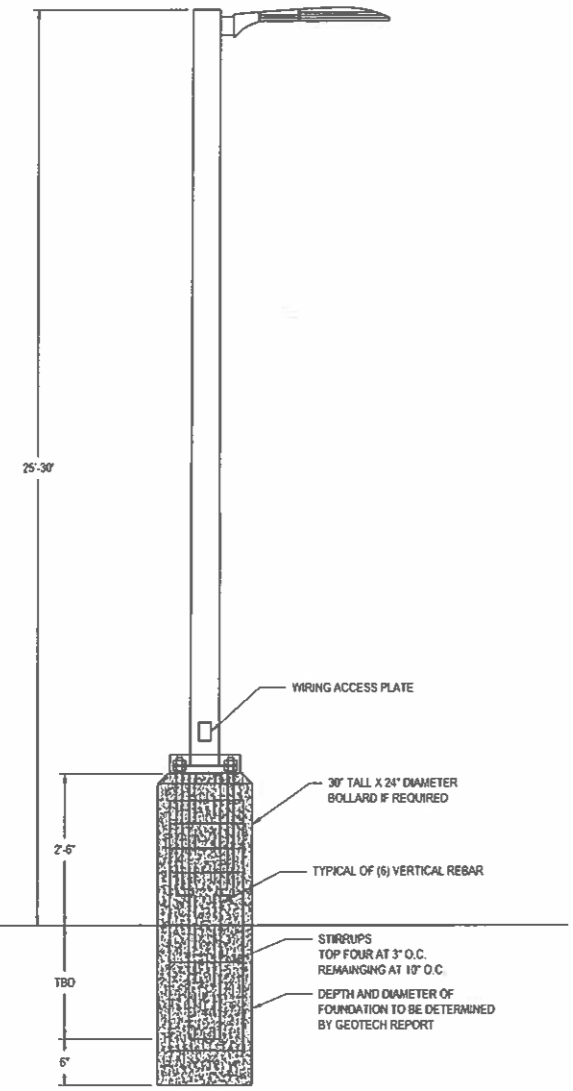
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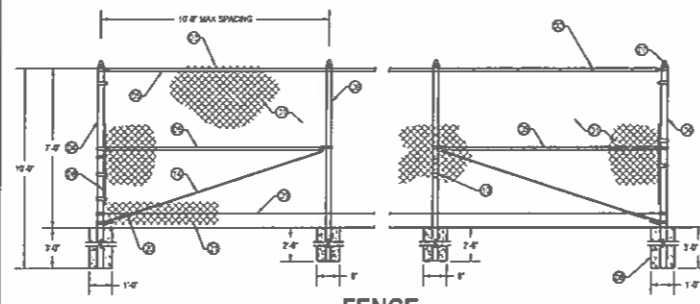
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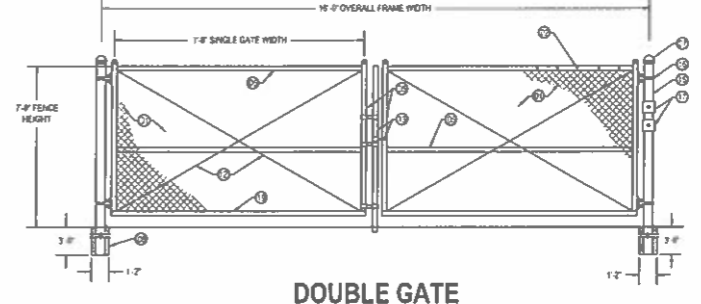
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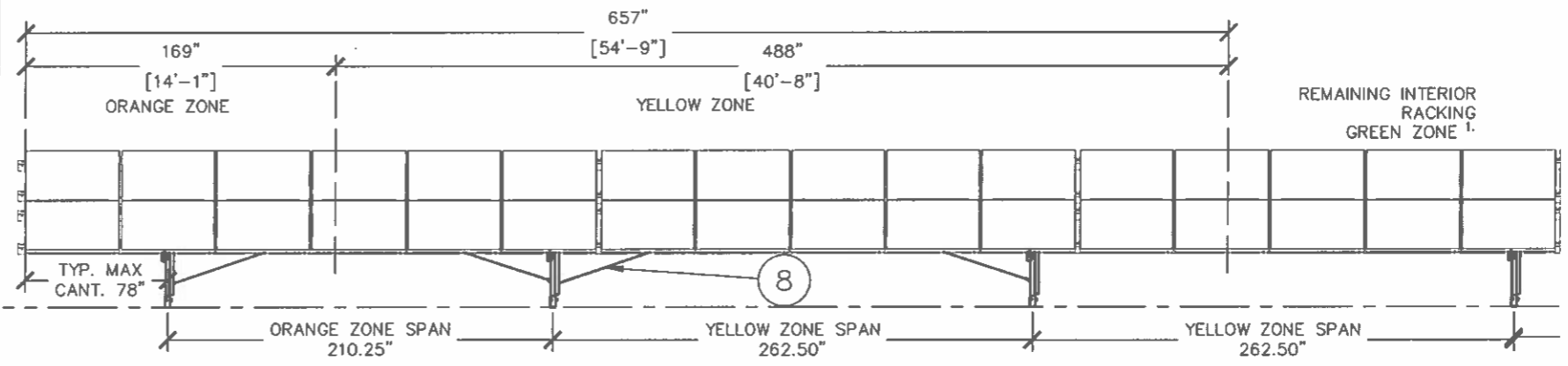
B1 ELECTRICAL DETAILS - LIGHT POLE
Scale: NTS



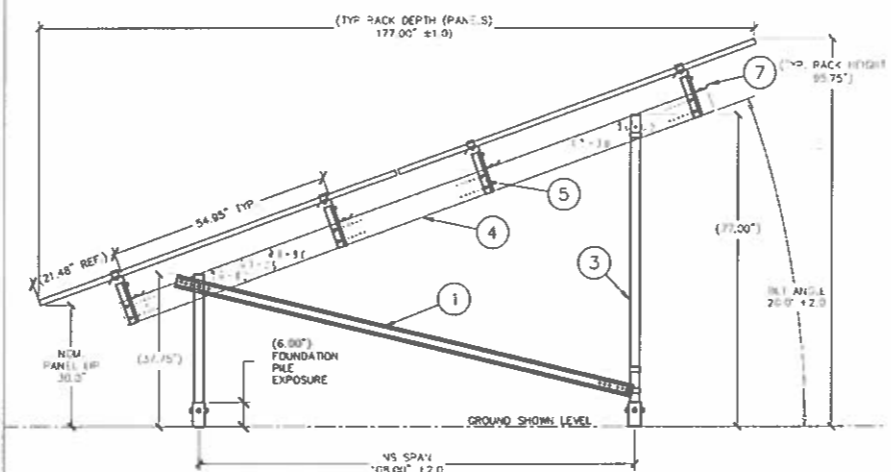
- GENERAL NOTES
- 2" MESH 11 GAUGE GALV STEEL CHAIN LINK FABRIC (TYP)
 - 1/2" X 1/2" X 1/2" GALV STEEL
 - CHAIN LINK FABRIC TOP SERVICE TWISTED
 - TYPICAL RAIL - 1.6" DIA
 - LINE POST - 1.6" X 2" DIA
 - POST TOP
 - TENSION BAR
 - SMOOTH TENSION WIRE
 - LINE POST TIE
 - NOT USED
 - DOUBLE TRUSS ROD
 - LATCH & DROP ROD ASSEMBLY
 - TRUSS WIRE
 - BRACED GALV TERMINAL END GATE POST - 10" X 4" DIA
 - BULLDOG HINGE (TYP)
 - FIRE AND UTILITY KNOCK BOXES
 - TRUCK MIXED CONCRETE (TYP OF ALL)
 - 2" X 1/2" ALUM TUBE
 - TUBERACLE
 - BOTTOM BELLAVIDE ANCHORED



D3 ELECTRICAL DETAILS - FENCE AND GATE
Scale: NTS



B3 ELECTRICAL DETAILS - FOUNDATION SPANS
Scale: NTS



ITEM	DESCRIPTION	SHAPE
1	KNEE BRACE	CEE
3	FOUNDATION POST	POST
4	NS CHORD	CEE
5	ROLL BAR	MIXED
6	TRANSVERSE BRACE	HAT
7	ZEE PURLIN	ZEE
8	CABLE BRACE	CABLE

A5 ELECTRICAL DETAILS - RACKING
Scale: NTS

A1 NOT USED
Scale: NTS

1 2 3 4 5 6