

**GEORGETOWN-SCOTT COUNTY PLANNING COMMISSION**

**AGENDA**  
**March 9, 2023**  
**6:00 p.m.**

**I. COMMISSION BUSINESS**

- A. Approval of February invoices
- B. Approval of February 9, 2023 minutes
- C. Approval of March 9, 2023 agenda
- D. Items for postponement or withdrawal
- E. Consent Agenda

**II. OLD BUSINESS**

- A. PDP-2022-44 Worldwide Equipment – Preliminary Development Plan for three (3) buildings (215,000 SF total) for the operations of a heavy truck dealership and a 105,298 SF gravel storage area for trailer parking located on West Yusen Way.
- B. ZMA-2022-57 Big Pine Land - POSTPONED

**III. NEW BUSINESS**

- A. FSP-2023-01 Marston Property - POSTPONED
- B. FSP-2023-02 Burchfield Property – Final Subdivision Plat to subdivide farm into four (4) tracts located at 1468 Bond Pike.
- C. ZMA-2023-03 Hale Property – Zoning Map Amendment to change the zoning district from A-1 to R-1A located at 255 Sebree Road. PUBLIC HEARING
- D. PDP-2023-04 Turfmasters Landscapes – Preliminary Development Plan for gravel parking lot and plantings related to the operations of a landscaping business located at 2461 Frankfort Road.
- E. PDP-2023-05 AWG (American Welding & Gas Supplies) – POSTPONED
- F. PDP-2023-06 D Crane Development – Preliminary Development Plan for a 10,000 SF maintenance/office building and a 64,500SF gravel storage area located at 224 Sims Pike.
- G. PSP-2023-07 Redwood Apartment Neighborhood – Preliminary Subdivision Plat approval to subdivide into individual lots a 142-unit apartment home development located at 1202 Old Oxford Road.

**IV. OTHER BUSINESS**

- A. Text Amendment – RV Campgrounds – PUBLIC HEARING
- B. Election of Officers
- C. Approval of FY 23-24 Draft Budget
- D. Update of Previously Approved Projects and Agenda Items

**GEORGETOWN-SCOTT COUNTY PLANNING COMMISSION  
REGULAR MEETING  
MINUTES  
February 9, 2023**

The regular meeting was held in the Scott County Courthouse on February 9, 2023. The meeting was called to order by Acting Chairman Mary Singer at 6:00 p.m. Also present were Commissioners Rhett Shirley, James Stone, Duwan Garrett, Brad Green, David Vest, Dann Smith, and Director Joe Kane, Planners Matt Summers and Elise Ketz, Engineer Ben Krebs, and Attorney Charlie Perkins. Commissioner Mifflin was absent. There is one vacancy on the Commission.

Motion by Shirley, second by Garrett, to approve Commissioner Singer as Acting Chairman for the February 9, 2023 meeting.

Motion by Stone, second by Smith, to approve the January invoices. Motion carried.

Motion by Smith, second by Shirley, to approve the January 12, 2023 minutes. Motion carried.

Motion by Shirley, second by Green, to approve the February agenda. Motion carried.

All those intending to speak before the Commission were sworn in by Mr. Perkins.

Postponements/Withdrawals

Acting Chairman Singer stated that the application for Worldwide Equipment (PDP-2022-44) and Big Pine Land (ZMA-2022-57) are postponed until the next regularly scheduled meeting.

FSP-2022-47 Joann Warner Property – Final Subdivision Plat to subdivide one cluster lot from a larger farm located at 6125 Cincinnati Road.

Ms. Ketz stated the proposed cluster lot is for 1.45 acres with 3.556 acres of preserved area and a remainder of 120.6 acres. She stated no new entrance for the cluster lots is proposed, but an access easement along the north property line is proposed and applicant has access to water and sewer.

She stated the applicant has requested four variances/waivers. She stated the applicant requested a reduction for the rear yard setback and the tree preservation easement. She stated the applicant requested two waivers for new road construction and for the cluster lot to have access to internal roads only.

She stated the cluster lot is along the road frontage of Cincinnati Road. She stated there is one existing entrance to the property.

She stated the applicant wants to maintain control of the stream that runs through the property.

She stated staff supports the application with the waivers for new road construction and internal road access but not the rear yard setback or tree preservation easement.

Michelle McCall, the applicant's daughter, stated they do not want to install a fence or plant trees by the creek since it would be hard to maintain. She stated the property is already fenced since they have cattle.

Commissioner Stone stated once property is sold you lose control of it.

Commissioner Green asked for clarification of the property that would actually be sold in the future.

Commissioner Shirley questioned the easement length. Ms. McCall stated the easement was supposed to go across the whole northern line of the property, but the surveyor had not done that yet.

Ms. Ketz stated that the northeast side of the existing residence staff would support a combined easement of rear yard setback with tree preservation. Ms. McCall stated they do not have a problem with that.

Attorney Perkins suggested having the correct conditions of approval ready for signatures in the morning per the discussions at the meeting.

After further discussion, **Motion by Garrett, second by Smith to recommend approval of the Final Subdivision Plat (FSP-2022-47) subject to (8) conditions of approval and (3) waivers. Motion carried unanimously.**

#### Text Amendment - RV Campgrounds

Acting Chairman Singer opened the public hearing.

Mr. Summers stated this text amendment is similar to the one heard a few months ago. He stated the County Judge Executive asked for the amendment to be reviewed. He stated some sections had been moved from within the A-1R to 2.51.1 section on mobile homes.

He stated in Section 2.1 definitions, the definition of mobile home camps was changed to RV campgrounds.

He stated in Section 2.51.1 the language was amended. He stated that RV Campgrounds would only be allowed in the A-1R zoning district and as a conditional use in the B-2 zoning district. He stated they would eliminate the language that allowed RV Campgrounds as accessory uses in recreational areas. He stated they clarified the required amount of open space, setbacks, and that gravel cannot be used for

campgrounds inside the Urban Service Boundary. He stated water service would be required with fire protection. He stated 10 RV sites per gross acre for public sewer and 1 RV site per 1.75 net acres for no sewer service.

He stated that other types of camping will count towards the density. He stated for every 100 RV sites there should be 1 public road connection and that all septic systems should be out of the flood plain.

He stated if someone owned A-1 property and wanted to develop a campground you would need to rezone to A-1R zoning district. He stated they established that at least 20 acres would be needed for a campground.

He stated that a 6-foot-tall fence and 50-foot-wide preservation easement landscape buffer would be required along the boundary between the A-1R zoned property and the right-of-way or property not zoned A-1R.

He stated in the C-1 zoning district it is now specified that RV Campgrounds are not conditional use. He stated in the B-2 zoning district language was clarified that RV Campgrounds are a Conditional Use.

Acting Chairman Singer questioned the requirement for multiple public road accesses and the metric for RV Campground lot density. She questioned if requiring multiple public road access points would result in increased crime. Mr. Summers stated that these campgrounds are not intended to be permanent living and that all access points could be gated to limit access to the campground. He stated the Commission can change their recommendation to Fiscal Court.

Andrew Hopewell, 4862 Iron Works Pike, stated he owns 140 acres and that he planned an RV Campground in the future. He stated this text amendment he feels is too restrictive. He stated he requests a postponement for the text amendment until he can review it better.

Roy Cornett, 125 East Main Street, stated he is on the tourism board and an RV camper. He stated the amount of sewer coming from a camper does not compare to a house. He stated bringing more tourism options to the area is a good thing.

After further discussion, **Acting Chairman Singer continued the RV Campgrounds Text Amendment Public Hearing until the next regularly scheduled meeting.**

#### Approval of Audit FY 21-22

Mr. Kane stated a clean audit was presented at the workshop on March 6<sup>th</sup>, by the auditor, Greg Miklavciz with Charles Mitchell CPA. **Motion by Smith, second by Stone, to approve the Audit of FY 21-22. Motion carried unanimously.**



# WORLDWIDE EQUIPMENT PRELIMINARY DEVELOPMENT PLAN

## Staff Report to the Georgetown-Scott County Planning Commission MARCH 9, 2023

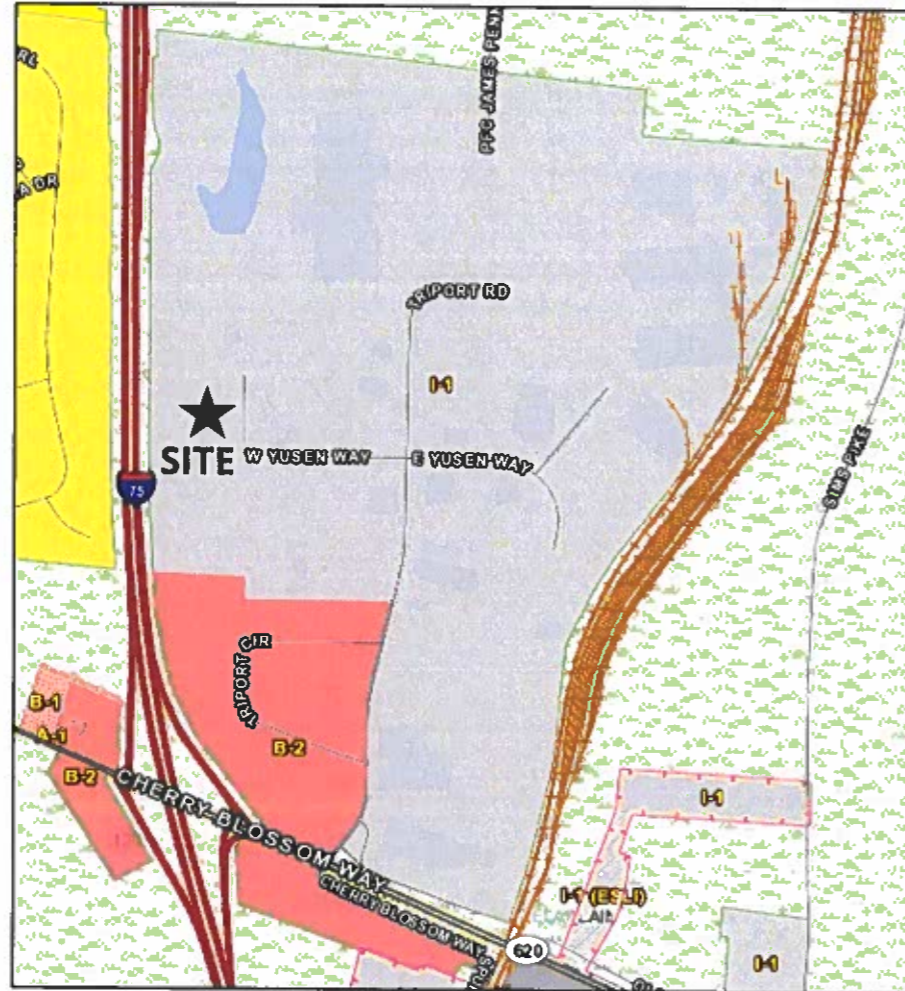
**FILE NUMBER:** PDP-2022-56

**PROPOSAL:** Preliminary Development Plan for three (3) buildings (215,000 SF total) for the operations of a heavy truck dealership and a 105,298 SF gravel storage area for trailer parking

**LOCATION:** West Yusen Way (Parcel ID#161-20-007.000)

**APPLICANT:** Worldwide Equipment

**CONSULTANT:** Trey Baston, Precision Engineering (formerly Bedrock Engineering)



<b>STATISTICS:</b>	
Existing Zone	I-1 (Light Industrial)
Surrounding Zone(s)	I-1: North & East A-1 (Agricultural): West B-2 (Highway Commercial): South
Site Acreage	29.639 ac
Access (Direct)	West Yusen Way
Access (Nearest Arterial)	Triport Road & Cherry Blossom Way [KY-620]
Proposed Use	Heavy Truck Dealership

Building Size	215,000 SF (total): Building #1 60,000 SF, Building #2 80,000 SF, Building #3 75,000 SF
Building Coverage [Max]	16.65% [50%]
Building Height	Building #1: 30'-8", Buildings #2 & #3: 31'-0",
Parking (Prop'd)	169 Passenger Vehicle Spaces 36 Display Lot Spaces 55 Truck Trailer Spaces
Variances/Waivers	1. Waiver for gravel trailer parking area

**BACKGROUND:**

The Applicant is seeking approval of a Preliminary Development Plan to construct 215,000 SF of building area (across three buildings) and related parking areas for operations of a heavy truck dealership. The Project Site is a vacant lot in Triport Industrial Park, 29.639 acres in size, and located at the end of West Yusen Way. The Applicant is seeking to regrade the property and construct the facility surrounded by a concrete paved parking/display lot and a gravel trailer parking lot. The proposed use is permitted in the I-1 zoning district; however, the use of a gravel parking area requires an approved waiver by the Planning Commission.

Dry Run Creek runs through the property from North to South and subsequently the Project Site has FEMA designated floodplain along the frontage from West Yusen Way. The Triport Industrial Park is adjacent to exit 129 of Interstate-75 and includes multiple trucking and storage facilities in addition to multiple manufacturing facilities. The Project Site is adjacent to the Aichi Forge (north), Interstate-75 (west), a vacant B-2 zoned lot (south), and Georgetown Public Works Department Facility, Bluegrass Water & Utility Service station, Rumpke of Kentucky Solid Waste Management Facility, and a Ryder Truck Transport Facility (east).

**PLAN REVIEW:**

**Proposed Buildings:**

The Development Plan shows three proposed buildings located parallel to Interstate-75, with two driveways coming off of West Yusen Way. The proposed buildings meet the building setback, height, and coverage requirements in the *Zoning Ordinance*.

**Access:**

Triport Road is the main access point for this entire industrial park including the Project Site. Triport Road was repaved in 2015 and is currently in good condition. Triport Industrial Park sees heavy truck traffic since the majority of uses in the park are trucking related or generate heavy truck traffic. A significant long range need for Triport Industrial Park is a secondary public access.

The Development Plan shows the first driveway ("South Driveway") measuring 33.5 feet in width and the second driveway ("North Driveway") measuring 24 feet in width, both believed to be sufficient width for passenger or heavy truck traffic. The driveways are shown to lead to the display lot parking and passenger vehicle parking areas, as well as connect to the 20-foot-wide circulation paths around the three proposed buildings. No proposals for gated entry are shown at this time; however, if intended, said entrances will need to allow for Fire Department access.

**Traffic Impact Study:**

The Applicant submitted a Traffic Impact Study, performed by Adam Kirk Engineering. The study may have been performed by a qualified professional; however, it does not have a stamp signifying that it was performed or reviewed by a licensed engineer. The study looked at existing conditions (2023) and evaluated the impact of a “No Build” and “Build” scenario at two intersections, specifically:

1. KY-620 (Cherry Blossom Way) & Triport Road
2. Triport Road & Yusen Way

**Table 1: Trips Generated by Project Site**

	Enter	Exit	Total
AM Peak Hour	107	34	141
PM Peak Hour	53	117	193

**Table 2: Level of Service & Change in Vehicle Delays**

Location	Approach	Peak	No-Build LOS	Build LOS	Difference (sec/veh.)	Peak	No-Build LOS	Build LOS	Difference (sec/veh.)
KY-620 & Triport	Westbound	AM	A	A	+ 1.1	PM	B	C	+ 3.9
	Eastbound	AM	A	B	+ 0.9	PM	B	B	+ 3.9
	Northbound	AM	C	C	- 0.2	PM	C	C	- 0.4
	Southbound	AM	C	C	+/- 0.0	PM	C	C	+ 5.7
	Overall	AM	B	B	+ 0.8	PM	C	C	+ 4.9
Triport & Yusen	Westbound	AM	A	A	+ 3.8	PM	A	B	+ 1.0
	Eastbound	AM	A	A	+ 0.2	PM	A	B	+ 3.6
	Northbound (left turn)	AM	A	A	+ 2.5	PM	A	A	+ 1.8
	Southbound (left turn)	AM	A	A	+/- 0.0	PM	A	A	+/- 0.0

The table above (Table 1) shows the anticipated AM & PM peak hour trips generated by the development at buildout using the ITE Land Use Code 110 (General Light Industrial).<sup>1</sup>

Table 2, above, shows the anticipated Level of Service data for No-Build and Build scenarios for 2023. The facility should not significantly decrease the level of service at these intersections in the Industrial Park. The table shows all approaches with related LOS. Looking at the data provided, it appears that none of the intersections will experience a meaningful increase in traffic delays.

The conclusion of the Traffic Impact Study is that the proposed development will add additional trips to the road network, but that the impact will be minimal on both the LOS and average intersection delay. No movements shown are expected to operate at a LOS lower than a C, nor will the construction result in an overall performance of an intersection to have a LOS lower than a B. No recommendations were provided as to how the Applicant should improve infrastructure at either intersection.

<sup>1</sup> Data is from the Traffic Impact Study performed by Adam Kirk Engineering.



**Parking:**

Employee and visitor parking is proposed in two locations on the Project Site. There are 69 spaces along the west and north sides of Building #1 and 100 spaces in the two lots facing one another between Buildings #2 and #3.

**Table 3: Parking Metrics**

Use	Metric	Proposal	Minimum Value	Difference
General Commercial, 100,001+ SF Building	1 space per 300 SF GFA <sup>2</sup>	215,000 SF	717	- 548
Automobile Sales	1 space per 600 SF floor space	215,000 SF	359	- 190
Manufacturing/Industrial	2 spaces per 3 employees on major employment shift	(unknown)	(unknown)	(unknown)
Truck Terminal	1 space per 1,000 SF GFA; or 1 space per employee (whichever is greater)	215,000 SF	215	- 46

Table 3 (above) is an excerpt of the off-street parking metrics which are anticipated to best fit the “heavy truck dealership use” <sup>3</sup>. While there is no one-to-one match for the proposed use, Staff concludes that the Manufacturing/Industrial metric is the most appropriate value given the I-1 zoning district and the unknown future uses of the proposed buildings. The Preliminary Development Plan does not indicate the metric the Applicant’s consultant used for determining that the site requires 169 passenger vehicle spaces. The Applicant will need to demonstrate this development plan will provide adequate off-street parking for the proposed uses as part of their presentation to the Planning Commission. At this time staff is unsure whether a variance is being requested, because we do not have enough information about

As part of the development, the Applicant is requesting a waiver for a gravel lot for trailer parking. The lot is intended to act as storage, consistent with similar lots found industrially zoned truck facilities in the county. Staff agrees with granting the waiver, given that the lot is intended for parking and is expected to kick up little to no dust. Staff will look to the specie-specific Landscaping Plan submitted as part of the Final Development Plan to demonstrate appropriate VUA perimeter screening.

**Stormwater Management:**

Stormwater is proposed to be handled by a detention basin located centrally to Building #2, or approximately halfway between South Driveway and North Driveway. The detention basin is proposed to be sized to handle the runoff from project site. There is floodplain on the lot, that is proposed to be left undisturbed. No plantings are proposed along the floodplain according to the preliminary landscape plan but could be as part of the creation of riparian area in the floodplain along Dry Run Creek. It is important to note that the Project Site is in the Dry Run Watershed BMP Study Area and shall be responsible for any additional study requirements per the adopted guidelines of the study.

<sup>2</sup> Abbreviation for “Gross floor area”

<sup>3</sup> Georgetown-Scott County Subdivision & Development Regulations (2015), pg. 211-217

### **Land Use Buffers and Landscaping:**

#### *Section 6.12: Property Perimeter Requirements*

Row 3 of the table requires a 15-foot-wide landscape buffer between the Project Site and the commercially zoned property to the south; with a planting of 1 tree per 40 linear feet of boundary plus either a double row of 6-foot-tall hedge or 6-foot-tall fence, wall, or earth mound.

#### *Section 6.13: Vehicular Use Area Perimeter Requirements*

While loading and unloading and storage areas are exempt from the screening requirements in the I-1 District, the automobile parking lots are not.

Row 1 of the table requires a 3 to 5-foot-wide (context dependent) landscape buffer between Vehicular Use Areas (VUAs) and commercially zoned properties and must include a planting of 1 tree per 40 linear feet of boundary plus a 3-foot-tall average height continuous planting, hedge, fence, earth mound, wall, or decrease in elevation from the adjoining property. In addition, Row 3 of the table requires a 3 to 5-foot-wide (context dependent) landscape buffer between Vehicular Use Areas (VUAs) of vehicle sales facilities and public/private ROW, road, expressway, or arterial street and must include a planting of 1 tree per 50 linear feet of boundary plus an 18-inch-tall average height continuous planting, hedge, fence, or wall. Individual tree plantings and the buffer of appropriate width(s) must be shown in the Final Development Plan landscape plan.

Along the south property line (where the Project Site adjoins the B-2 Highway Commercial zoned property), there appears to be areas where the required landscaping buffers overlap. In such instances, the more stringent of requirements would be expected to be adhered to. No waivers have been requested related to VUA or Property Perimeter landscaping requirements at this time related to this area.

#### *Section 6.22: Interior Landscaping for Vehicular Use Areas*

Any open vehicular use area, except those designated as loading, unloading, and storage areas in industrially zoned properties, that measure 6,000 SF or greater in area are required to install Interior Landscape Areas (ILAs). The Development Plan has not specified the value of non-exempt VUA areas on the Project Site to base the requirement on. At the time Final Development Plan, Staff would require clarification on which areas are classified as "loading, unloading, and storage" VUAs which should be removed from the base VUA value.

While information for the non-exempt VUA areas is not supplied, the Applicant depicts a total ILA installation of 11,850 SF, and 33 ILA designated trees. Per regulations, 1 tree per 250 SF of ILA is required, which would require a minimum of 48 ILA designated trees. The Applicant is required to satisfy the requirements set forth for ILA areas and tree plantings at the time of Final Development Plan submittal.

#### *Section 6.2215: Minimum Canopy Requirements*

There is 55,916 SF of existing tree canopy proposed to be preserved with the project, equivalent to 4.3% of the total site area. The development is required to provide a minimum of 6% or 77,440.96 SF of total tree canopy. The Preliminary Development Plan proposes to meet this requirement and plant 50,600 SF

of new plantings to meet the buffer requirements discussed above, resulting in a total tree canopy of 106,516 SF, or 8.25% coverage.

**Sewer**

The proposed facility is within the Bluegrass Water & Utility Service Area. Per a letter on file dated December 13, 2022, the utility provider has capacity for the site. Final Development Plan approval is conditioned upon the development's ability to connect to the public sewer provided by Bluegrass Water & Utility.

**RECOMMENDATION:**

Based on the findings above, if the Planning Commission is satisfied that adequate parking is proposed for the site, staff recommends **approval** of the Preliminary Development Plan with the following conditions, variances, and/or waivers.

Variances/Waivers:

1. Waiver to allow the use of gravel for the trailer parking area.

Conditions:

1. All applicable requirements of the *Zoning Ordinance and Subdivision and Development Regulations*.
2. Any revisions or amendments to the approved Preliminary Development Plan shall be reviewed and approved by the Planning Commission staff (minor) or by the Planning Commission (major).
3. The project shall connect to Bluegrass Water & Utility Service system.
4. Prior to any construction or grading, a Final Development Plan, including all required construction plans, shall be approved by the Planning Commission staff and the applicant shall schedule a Pre-Construction Meeting with the Planning Commission Engineering Department to review construction policies and to establish inspection schedules. This includes a Grading Permit with fee and a Land Disturbance Permit with erosion control surety.
5. The Final Development Plan shall comply with all stormwater management requirements.
6. Prior to (as part of) the Final Development Plan approval, the applicant shall provide the Planning Commission staff (GIS Division) with a digital copy of the approved plan.
7. The Applicant shall be responsible for providing landscaping which meets the minimum requirements of the *Landscape and Land Use Buffer Ordinance* on the Final Development Plan. The Final Development Plan must include specific information on which Vehicular Use Areas are considered exempt from the Interior Landscape Area requirements. A specie-specific landscape plan shall be included with the Final Development Plan.
8. This Preliminary Development Plan approval is valid for two years, subject to the requirements of Article 406 section A of the *Subdivision and Development Regulations*.
9. All applicable requirements of the Scott County Fire Department.
10. The Final Development Plan shall comply with all requirements of the guidelines in the Dry Run Watershed BMP Study that are applicable to this site.

RECEIVED  
 FEB 22 2023  
 PLANNING COMMISSION

# WORLDWIDE EQUIPMENT GEORGETOWN, KY DEVELOPMENT

FOR  
 WORLDWIDE EQUIPMENT, INC.  
 6614 WILBANKS ROAD  
 KNOXVILLE, TN 37912

**BEDROCK**  
 ENGINEERING, PLLC

WORLDWIDE EQUIPMENT  
 PRELIMINARY DEVELOPMENT PLAN  
 SCOTT COUNTY - GEORGETOWN, KY

### CONTACT INFORMATION

**CIVIL ENGINEER:**  
 BEDROCK ENGINEERING, PLLC  
 PO BOX 219  
 SHEFFIELDSVILLE, KY 40165  
 PHONE (502) 402-1027  
 WWW.BEDROCKENGR.COM  
 CONTACT MR. TREV BASTON P.E.

### CERTIFICATIONS

#### CERTIFICATION OF FIRE DEPARTMENT APPROVAL

I HEREBY CERTIFY THAT THE DEVELOPMENT PLAN SHOWN HEREON HAS BEEN REVIEWED AND FOUND TO COMPLY WITH GEORGETOWN FIRE DEPARTMENT REGULATIONS INCLUDING ANY CONDITIONS OF APPROVAL OR EXCEPTIONS, NOTED HEREON.

DATE: \_\_\_\_\_

SIGNATURE AND TITLE OF FIRE DEPT REP: \_\_\_\_\_

#### CERTIFICATION OF OWNERSHIP AND DEDICATION

I HEREBY CERTIFY THAT I AM (WE ARE) THE OWNER(S) OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I (WE) HEREBY ADOPT THIS PLAT PLAN OF THE ENTIRE TRACT WITH ANY (OUR) IMPROVEMENTS, STREETS, ALLEYS, WALKS, PARKS, AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS SHOWN, IN ACCORDANCE WITH THE GEORGETOWN SCOTT COUNTY SUBDIVISION AND DEVELOPMENT REGULATIONS, UNLESS OTHERWISE NOTED.

#### CERTIFICATION OF PRELIMINARY PLAN APPROVAL

I HEREBY CERTIFY THAT THE PRELIMINARY DEVELOPMENT PLAN SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION AND DEVELOPMENT REGULATIONS FOR GEORGETOWN AND SCOTT COUNTY, KENTUCKY, WITH THE EXCEPTION OF SUCH VARIATIONS, IF ANY, AS ARE NOTED IN THE COMMENTS OF THE PLANNING COMMISSION. THIS APPROVAL DOES NOT CONSTITUTE APPROVAL TO BEGIN CONSTRUCTION OR OBTAIN A BUILDING PERMIT.

DATE: \_\_\_\_\_

CHAIRMAN, GEORGETOWN-SCOTT COUNTY PLANNING COMMISSION

FOR ALL FINAL DEVELOPMENT PLANS ADD THE FOLLOWING "STANDARD REQUIREMENTS" AFTER THE ABOVE PARAGRAPH:

1. SITE SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THIS PLAN. ANY VIOLATION OF THE PLAN, INCLUDING LANDSCAPING, SHALL FIRST BE APPROVED BY THE PLANNING DIRECTOR AND THE COMMISSION ENGINEER. MAJOR MODIFICATIONS TO THE PLAN SHALL FIRST BE APPROVED BY THE PLANNING COMMISSION.

2. STORM DRAINAGE FACILITIES, INCLUDING RETENTION BASINS, SHALL BE MAINTAINED FOR PROPER FUNCTIONING FREE OF ANY DEBRIS, WEEDS OR TRASH.

3. A CERTIFICATE OF OCCUPANCY SHALL NOT BE ISSUED AND THE BUILDINGS SHALL NOT BE OCCUPIED UNTIL ALL SITE IMPROVEMENTS SHOWN ON THE FINAL DEVELOPMENT PLAN AND LISTED IN THESE CONDITIONS ARE INSTALLED. REQUIRED LANDSCAPING SHALL BE INSTALLED OR, IN EXTREME WEATHER CONDITIONS, MAY BE SECURED FOR A PERIOD OF ONE YEAR BY SUBMITTING TO THE PLANNING DIRECTOR AN APPROVED SECURITY FOR 12% OF THE COST OF THE TOTAL WORK TO BE DONE, AS SUBSTANTIATED BY COST ESTIMATES APPROVED BY THE PLANNING DIRECTOR.

4. THERE SHALL BE NO GRADING OR CONSTRUCTION UNTIL THE FINAL DEVELOPMENT PLAN HAS BEEN APPROVED AND SIGNED BY THE PLANNING COMMISSION. CONSTRUCTION DRAWINGS ARE APPROVED BY THE PLANNING DIRECTOR FOR SITE DEVELOPMENT. THE BUILDING PERMIT SHALL NOT BE ISSUED UNTIL THE FINAL DEVELOPMENT PLAN IS APPROVED AND SIGNED.

DATE: \_\_\_\_\_

OWNER OR OWNERS: \_\_\_\_\_

### GENERAL LEGEND

- IRON PIN FOUND (IPF)
- ⊙ IRON PIN SET (IPS)
- EXISTING GUY WIRE
- EXISTING POWER POLE
- ⊙ EXISTING SEWER MANHOLE
- PROPOSED SEWER MANHOLE
- EXISTING GATE VALVE
- PROPOSED GATE VALVE
- EXISTING WATER METER
- PROPOSED WATER METER
- PROPOSED SEWER SERVICE
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- PROPOSED TRANSFORMER
- PROPOSED ELEC. VAULT
- PROPOSED ELEC. SERVICE
- EXISTING TELEPHONE PED.
- EXISTING CATV PED.
- EXISTING CURB BOX INLET
- PROPOSED CURB BOX INLET
- PROPOSED STREET LIGHT
- EXIS. ELEC. (UNDERGROUND/OVERHEAD)
- PRO. ELEC. (UNDERGROUND/OVERHEAD)
- PROPOSED SECONDARY (UNDERGROUND)
- EXISTING GAS LINE
- PROPOSED GAS LINE
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- EXISTING FORCE MAIN
- PROPOSED FORCE MAIN
- EXISTING WATER LINE
- PROPOSED WATERLINE
- EXISTING TELEPHONE
- PROPOSED TELEPHONE
- PROPOSED CABLE TV
- PROPOSED JOINT TRENCH
- PROPOSED FENCELINE
- PROPERTY LINE
- SILT FENCE
- EXISTING CONTOURS
- PROPOSED CONTOURS
- EXISTING PAVEMENT
- PROPOSED PAVEMENT
- EXISTING BUILDINGS
- PROPOSED BUILDINGS
- EXISTING SIDEWALKS
- PROPOSED SIDEWALKS
- EXISTING CONCRETE
- PROPOSED CONCRETE
- EXISTING GRAVEL
- PROPOSED GRAVEL
- LANDSCAPE AREAS
- EXISTING TRELANE
- EX. CROSS-WALK
- PRO. CROSS-WALK
- 10' WATERLINE ESM'T
- 5' EACH SIDE OF LINE
- 20' SEWER LINE ESM'T
- 10' EACH SIDE OF LINE



VICINITY MAP  
 NOT TO SCALE

### PROJECT SUMMARY

LOT AREA: 1,291,037 SQ FT (29.64 ACRES)  
 EXISTING IMPERVIOUS AREA: 0 SQ FT  
 PROPOSED IMPERVIOUS AREA: 666,272 SQ FT

ZONED: LIGHT INDUSTRIAL  
 EXISTING LOT COVERAGE: 00.0%  
 PROPOSED LOT COVERAGE: 51.6%

PARKING PROVIDED: 141 SPACES

ESTIMATED TRAFFIC: SITE WILL GENERATE NO MORE THAN 300 TRIPS/DAY. THESE EXTRA TRIPS SHOULD NOT IMPED CURRENT CONDITIONS ON INTERSECTION OF CHERRY BLOSSOM AND TRIPPORT ROAD.

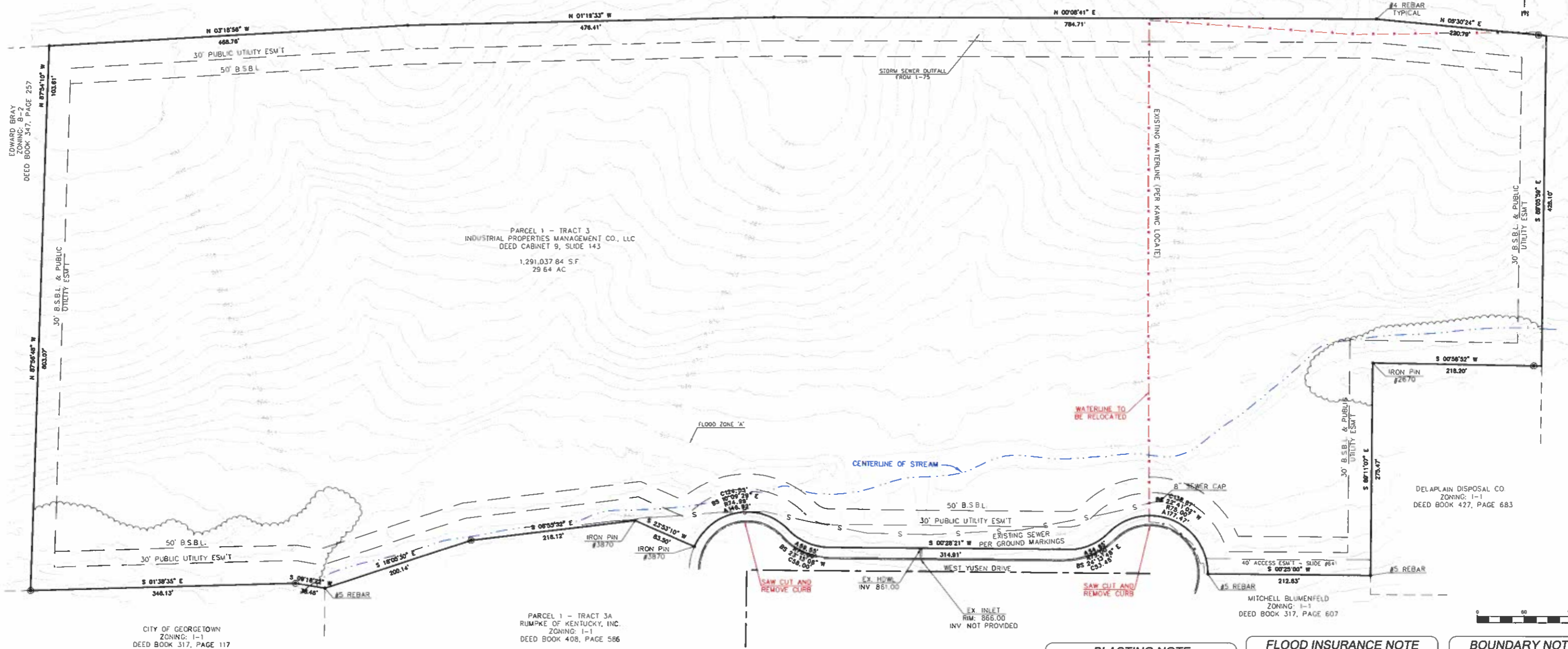
### INDEX OF SHEETS

C-0.0	COVER SHEET
C-1.0	EXISTING CONDITIONS
C-2.0	PROPOSED LAYOUT
C-3.0	GRADING AND DRAINAGE
C-3.1	DRAINAGE DETAILS
C-4.0	EROSION CONTROL
C-4.1	EROSION CONTROL DETAILS
C-5.0	UTILITY LAYOUT
C-5.1	UTILITY DETAILS
C-6.0	LANDSCAPE PLAN

SCALE:	N.T.S.	REVISIONS
JOB NO:	ENGR-21-001	
DETAILED BY:	TJB	
REVIEWED BY:	TJB	
DATE:	Dec. 28, 2022	

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**DEMOLITION NOTES**

- PRIOR TO DEMOLITION WORK THE CONTRACTOR SHALL READ AND COMPLY WITH ALL NOTES SHOWN ON THE SOIL EROSION & CONTROL PLAN INCLUDED WITH THIS SET.
- ALL CONTRACTORS SHALL VISIT THE SITE TO FAMILIARIZE THEMSELVES WITH ALL EXISTING CONDITIONS AS THEY RELATE TO THE REQUIREMENTS OF DEMOLITION WORK AND NEW WORK SHOWN ON THESE DRAWINGS.
- CONTRACTORS SHALL FIELD VERIFY ALL EXISTING DIMENSIONS AND QUANTITIES OF EXISTING MATERIALS PRIOR TO PROCEEDING WITH WORK AND CONTACT THE ENGINEER IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
- ALL EXISTING INFRASTRUCTURE WHICH IS TO REMAIN SHALL BE PROTECTED FROM DAMAGE DURING DEMOLITION AND NEW WORK.
- CONTRACTORS SHALL REFER TO ALL DRAWINGS AND SPECIFICATIONS AND BECOME FAMILIAR WITH THE ENTIRE SCOPE OF WORK TO THE EXTENT THAT THEIR WORK AFFECTS OR IS AFFECTED BY OTHER CONTRACTORS WORK.
- THE LOCATIONS OF UTILITIES SHOWN HEREON ARE APPROXIMATE ONLY, AND THE CONTRACTOR IS SPECIFICALLY CAUTIONED TO FIELD VERIFY ALL EXISTING UNDERGROUND UTILITY LOCATIONS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CALL KENTUCKY 811 FOR UTILITY LOCATION VERIFICATION. CONTRACTOR SHALL NOTIFY EACH INDIVIDUAL UTILITY OWNER WHICH MAINTAINS A LINE IN THE VICINITY OF THE PROJECT AT LEAST 72 HOURS PRIOR TO BEGINNING DEMOLITION. ANY UTILITIES TO BE REMOVED AND/OR RELOCATED SHOULD BE COORDINATED WITH THE RESPECTIVE UTILITY OWNER PRIOR TO ACCEPTING BIDS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING DEMOLITION WITH, AND OBTAINING ALL NECESSARY CLEARANCES FROM ALL UTILITY OWNERS. THE CONTRACTOR SHALL RECEIVE NO ADDITIONAL COMPENSATION FOR ANY DELAYS OR INCONVENIENCE CAUSED BY ANY UTILITY ADJUSTMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OF ANY EXISTING UTILITIES DAMAGED BY CONSTRUCTION ACTIVITIES.

**DAMAGED BY CONSTRUCTION ACTIVITIES**

- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY PROTECTIVE MEASURES TO SAFEGUARD EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION OF THIS PROJECT. IN THE EVENT THAT SPECIAL EQUIPMENT IS REQUIRED, THE CONTRACTOR SHALL BE REQUIRED TO FURNISH SUCH EQUIPMENT. THE COST OF PROTECTING UTILITIES FROM DAMAGE AND FURNISHING SPECIAL EQUIPMENT SHALL BE INCLUDED IN THE BID.
- PRIOR TO BEGINNING WORK, THE CONTRACTOR SHALL SUBMIT A PROPOSED WORK SCHEDULE TO THE ENGINEER FOR APPROVAL. THE CONTRACTOR SHALL BE REQUIRED TO ADJUST THE WORK SCHEDULE AS DIRECTED BY THE ENGINEER. NO ADDITIONAL COMPENSATION WILL BE DUE TO THE CONTRACTOR BECAUSE OF REQUIRED CHANGES TO THE WORK SCHEDULE. THOSE ADJUSTMENTS IN THE CONTRACTOR'S OPERATIONS WILL BE CONSIDERED INCIDENTAL TO OTHER ITEMS OF WORK IN THE CONTRACT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING ARRANGEMENTS FOR TEMPORARY UTILITY SERVICE. THOSE COSTS OF TEMPORARY SERVICE SHALL NOT BE PAID FOR DIRECTLY BUT WILL BE INCIDENTAL TO OTHER ITEMS.
- CONSTRUCTION SIGNING FOR ROADWAYS MUST BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY.
- UTILITY SERVICE LINES TO BUILDINGS THAT WILL BE DEMOLISHED SHALL BE REMOVED TO 30" BELOW FINISHED GRADE. WATER LINES SHALL BE CAPPED. SEWER LINES SHALL BE REMOVED OR GROUT PLUGGED AS SHOWN HEREON.

**UNLESS OTHERWISE NOTED, ALL SALVAGEABLE MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR.**

- ALL WASTE MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR. NO DISPOSAL ON SITE SHALL BE PERMITTED.
- CONTRACTOR SHALL MAKE ALL ARRANGEMENTS AND PAY ALL ASSOCIATED COSTS FOR TERMINATING UTILITY SERVICES TO BUILDINGS TO BE DEMOLISHED. CONTRACTOR SHALL ARRANGE FOR DEMOLITION AND UTILITY REMOVAL. ALL UTILITIES DEMOLISHED/REMOVED SHALL BE CUT OFF AT THE SOURCE. CONTRACTOR IS ADVISED TO CONTACT UTILITY OWNERS AS EARLY AS POSSIBLE TO ALLOW EXPEDITIOUS SCHEDULING.
- ALL EROSION & SEDIMENT CONTROL BMPs TO BE INSTALLED PRIOR TO BEGINNING DEMOLITION WORK AND LEFT IN PLACE FOR THE DURATION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND REPAIR OF ALL EROSION CONTROLS.
- ALL TREES, SHRUBS, AND ANY OTHER PLANT MATERIAL, INCLUDING STUMPS AND ROOTS SHALL BE REMOVED COMPLETELY WHETHER SHOWN OR NOT SHOWN TO COMPLETE THE INTENT OF THE CONSTRUCTION DOCUMENTS.
- ASPHALT, CONCRETE AND GRAVEL AREAS ARE INTERMINGLED AND MAY OR MAY NOT BE SHOWN IN THEIR ENTIRETY. WHETHER SHOWN OR NOT SHOWN, ALL MATERIALS SHALL BE REMOVED TO COMPLETE THE INTENT OF THE CONSTRUCTION DOCUMENTS. CONTRACTOR SHALL VISIT SITE TO DETERMINE QUANTITIES FOR REMOVAL.

**BLASTING NOTE**  
BLASTING PROHIBITED WITHIN PROJECT LIMITS (GAS LINES) IN GENERAL VICINITY

**FLOOD INSURANCE NOTE**  
I HEREBY CERTIFY THAT THE PROPERTY AS SHOWN HEREIN IS PARTIALLY LOCATED IN FLOOD ZONE 'A' AS LOCATED BY FLOOD INSURANCE RATE MAP #21290C01200 DATED DECEMBER, 21, 2017

**BOUNDARY NOTE**  
BOUNDARY SURVEY PERFORMED ON JANUARY 01, 2022 BY GARY ROLAND, P.L.S. #3363

**JOB SAFETY NOTES**

THE CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SITE SAFETY DURING CONSTRUCTION. JOB SITE SAFETY IS OUTSIDE THE SCOPE OF WORK OF PRECISION ENGINEERING, LLC. NEITHER THE PROFESSIONAL ACTIVITIES OR THE PRESENCE OF PRECISION ENGINEERING, LLC EMPLOYEES OR SUBCONSULTANTS AT THE CONSTRUCTION SITE SHALL RELIEVE THE CONTRACTOR OR ANY OTHER ENTITY OF THEIR OBLIGATION, DUTIES, AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCES, TECHNIQUES, TO PROCEDURES NECESSARY FOR PERFORMING, SUPERINTENDING OR COORDINATING ALL PORTIONS OF THE WORK OF CONSTRUCTION IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND ANY HEALTH AND SAFETY PRECAUTIONS REQUIRED BY GOOD CONSTRUCTION PRACTICES OR ANY REGULATORY AGENCIES. ANYONE USING INFORMATION FROM THESE PLANS ACKNOWLEDGES AND WARRANTS THAT PRECISION ENGINEERING, LLC IS NOT RESPONSIBLE FOR SITE SAFETY IN ANY WAY.

**UTILITY NOTES**

THE UTILITIES ARE SHOWN ON THE DRAWINGS AS ACCURATELY AS THEY HAVE BEEN PROVIDED TO THE DESIGN PROFESSIONAL. THEIR LOCATIONS ARE NOT GUARANTEED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT ALL UTILITY COMPANIES AND TO HAVE ALL UTILITIES FIELD LOCATED, PRIOR TO STARTING CONSTRUCTION. THE UTILITIES SHOWN REPRESENT OBSERVABLE FEATURES ALONG WITH INFORMATION PROVIDED BY THE RESPECTIVE UTILITY COMPANIES, AND IS THEREFORE NOT WARRANTED. PRIOR TO CONSTRUCTION THE CONTRACTOR IS TO FIELD VERIFY ALL UTILITY LOCATIONS, SIZES, TYPE ETC. NEEDED TO COMPLETE THE WORK OF THE CONTRACT.

THE CONTRACTOR SHALL NOTIFY THE DESIGN PROFESSIONAL IF A PROBLEM COULD EXIST. IF THE CONTRACTOR PROCEEDS WITHOUT CONTACTING THE UTILITY COMPANIES AND DOES NOT NOTIFY THE DESIGN PROFESSIONAL OF POTENTIAL PROBLEMS HE/DEES SO AT HIS OWN RISK.

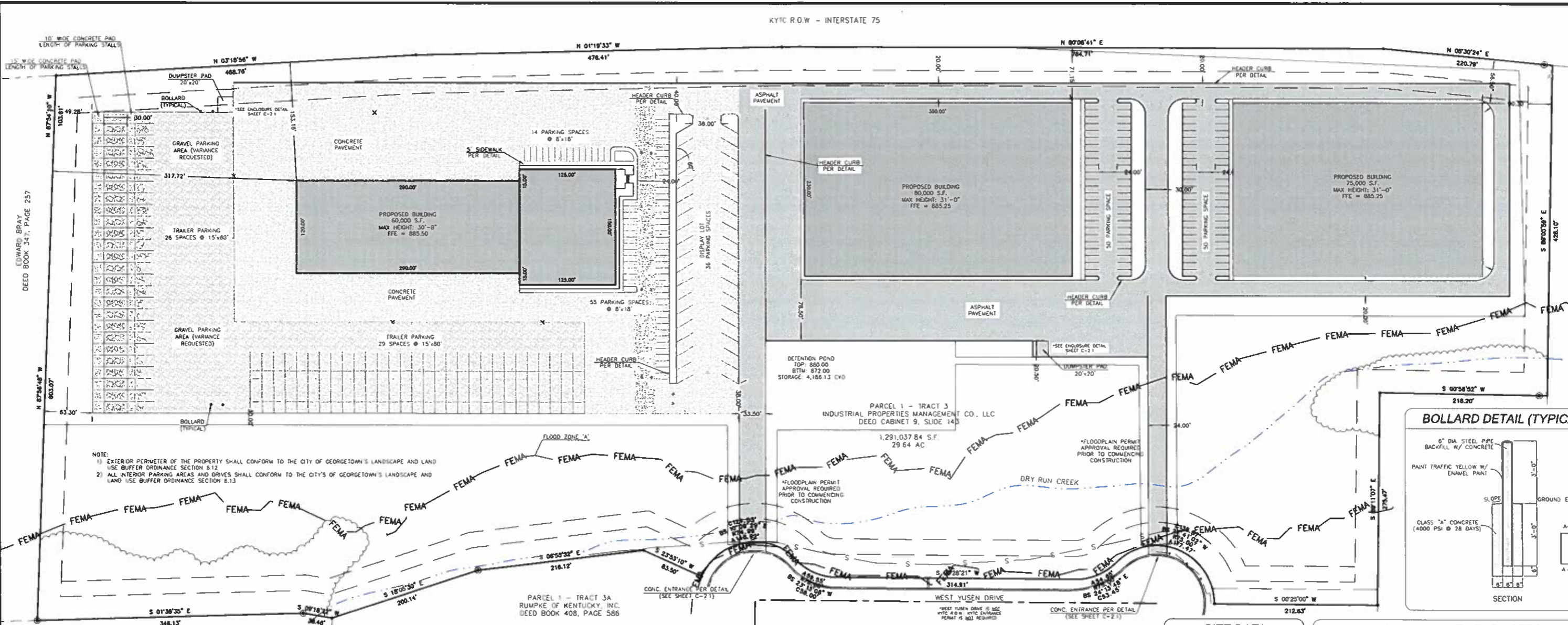
**GENERAL LEGEND**

- IRON PIN FOUND (IPF)
- IRON PIN SET (IPS)
- EXISTING GUY WIRE
- EXISTING POWER POLE
- EXISTING SEWER MANHOLE
- EXISTING GATE VALVE
- EXISTING WATER METER
- EXISTING FIRE HYDRANT
- EXISTING GAS METER
- EXISTING LIGHT POLE
- EXISTING CURB BOX INLET
- EXS. ELEC. (OVERHEAD)
- EXISTING GAS LINE
- EXISTING SANITARY SEWER
- EXISTING FENCE
- EXISTING WATER LINE
- EXISTING TELECOMMUNICATIONS
- PROPERTY LINE
- EXISTING CONTOURS
- EXISTING PAVEMENT
- EXISTING BUILDINGS
- EXISTING SIDEWALKS
- LANDSCAPE AREAS
- EXISTING TREELINE

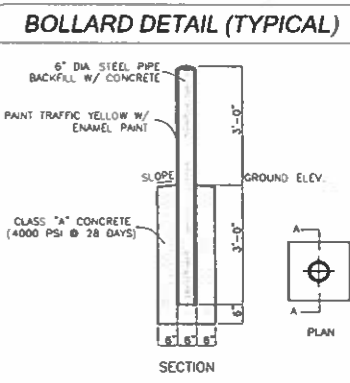
REVISIONS	SCALE:	1" = 60'
	JOB NO.	ENGR-01-001
	DETAILED BY:	TJB
	REVIEWED BY:	TJB
	DATE:	Dec. 28, 2022
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**WORLDWIDE EQUIPMENT**  
**PRELIMINARY DEVELOPMENT PLAN**  
WEST YUSEN DRIVE - SCOTT COUNTY - GEORGETOWN, KY



ARCH FORCE USA, INC.  
DEED BOOK 209, PAGE 124  
PLAT CABINET 1, SLIDE 164



**SITE DATA**

LOT AREA: 29.64 ACRES OR 1,291,037.84 S.F. ±

POST DEVELOPED IMPERVIOUS AREA

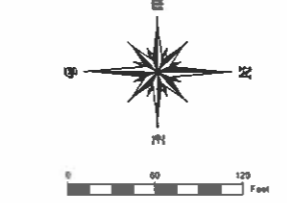
- BUILDINGS: 215,000 S.F.
- ASPHALT: 182,316 S.F.
- CONCRETE: 183,658 S.F.
- STONE: 105,288 S.F.
- TOTAL: 686,272 S.F. (51.6%)

NET CHANGE: 666,272 - 0 = 666,272 S.F. (+51.6%)

- SITE IMPROVEMENT NOTES**
- BASE INFORMATION WAS TAKEN FROM A TOPOGRAPHIC AND BOUNDARY SURVEY
  - THE CONTRACTOR SHALL CHECK ALL EXISTING CONDITIONS @ INVERTS UTILITY ROUTINGS UTILITY CROSSINGS, AND DIMENSIONS IN THE FIELD PRIOR TO COMMENCEMENT OF UTILITY WORK. REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE.
  - THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES, AND SHALL TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. REPAIR ANY DAMAGE ACCORDING TO LOCAL STANDARDS AND AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY
  - THE CONTRACTOR SHALL CONFORM TO ALL LOCAL CODES AND RECEIVE APPROVAL WHERE NECESSARY BEFORE CONSTRUCTION
  - EXISTING PAVEMENT OF PUBLIC ROADWAYS SHALL BE PATCHED IN ACCORDANCE WITH LOCAL AGENCY STANDARDS WHEREVER UTILITY INSTALLATION REQUIRES REMOVAL OF THE EXISTING PAVEMENT. COORDINATE PAVEMENT PATCHING LOCATIONS WITH SITE CIVIL, PLUMBING AND ELECTRICAL PLANS
  - PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND NEW PAVEMENT. SLIGHT FIELD ADJUSTMENT OF FINAL GRADES MAY BE NECESSARY. ALL CURB TERMINATIONS ARE TO BE TAPERED TO GRADE ANY WORK UNACCEPTABLE TO THE OWNER'S REPRESENTATIVE OR TO THE LOCAL GOVERNING AUTHORITY SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER
  - ALL SIDEWALKS & HANDICAP RAMPS SHALL BE BUILT TO ADA STANDARDS
  - CONTRACTOR SHALL PAVE IN THE DIRECTION OF TRAFFIC
  - THE CONTRACTOR WILL BE REQUIRED TO ADJUST GRADES OF INTERSECTING STREETS ALLEYS PUBLIC ENTRANCES AND PRIVATE DRIVES AS DIRECTED BY THE ENGINEER
  - ALL ROADWAY AND SIDEWALK CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF LOCAL AND/OR STATE GOVERNING AGENCY
  - ALL CONSTRUCTION MATERIALS AND INSTALLATION SHALL CONFORM TO THE LOCAL AND/OR GOVERNING AGENCY REGULATIONS AND SPECIFICATIONS
  - ALL PAVEMENT MATERIALS AND CONSTRUCTION SHALL CONFORM TO THE LOCAL AND/OR GOVERNING AGENCY REGULATIONS AND SPECIFICATIONS
  - ALL PAINTED TEXT SHALL BE PER CURRENT MUTCD REQUIREMENTS
  - THE CONTRACTOR SHALL INSTALL NECESSARY TRAFFIC CONTROL SAFETY BARRICADES LIGHTING AND OTHER REQUIRED CONTROL MEASURES SECURING THE WORK AREA FROM EXISTING TRAFFIC TO ASSURE PUBLIC SAFETY
  - THE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING THE SITE LATE, THE WORK IS ACCEPTED IN TOTAL BY THE OWNER
  - ANY DEFICIENCIES WITHIN THE SITE PRIOR TO TOTAL ACCEPTANCE BY THE OWNER MUST BE REPLACED BY KIND PER STANDARD DRAWINGS AND SPECIFICATIONS
  - PROVIDE 1/2" EXPANSION JOINT MATERIAL W/ SEALANT WHERE NEW CONCRETE CURBS OR PAVING ADJUT SEWER STRUCTURES, BUILDINGS, ETC
  - CONCRETE JOINTS SAWCUT OR TOOLED AS PER OWNER/CONTRACTOR

**FLOOD INSURANCE NOTE**

I HERBY CERTIFY THAT THE PROPERTY AS SHOWN HEREIN IS PARTIALLY LOCATED IN FLOOD ZONE 'A' AS LOCATED BY FLOOD INSURANCE RATE MAP #21208C1260 DATED DECEMBER, 21, 2017



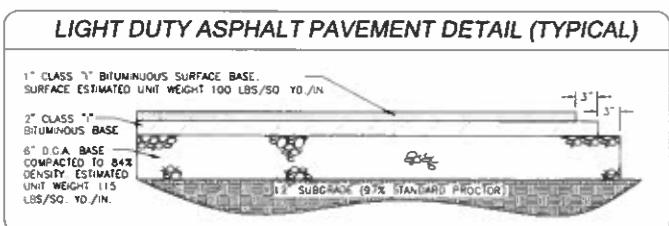
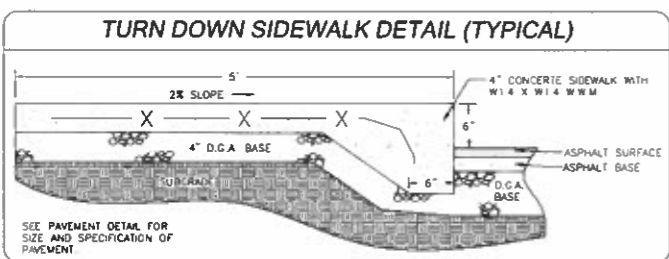
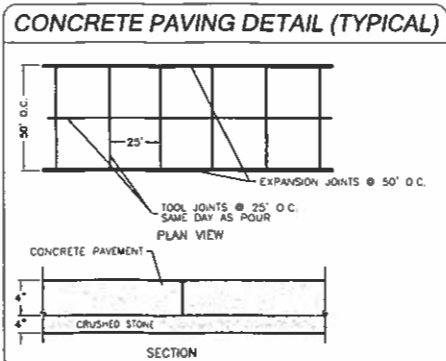
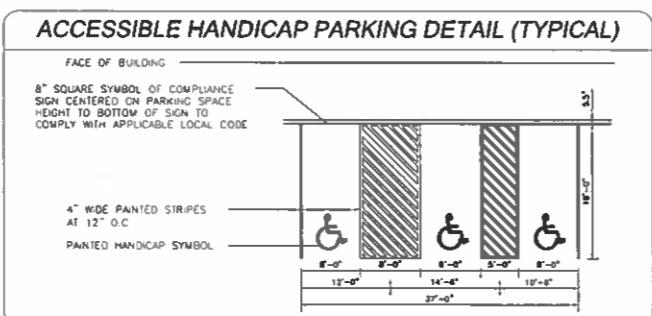
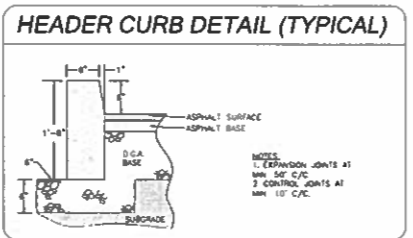
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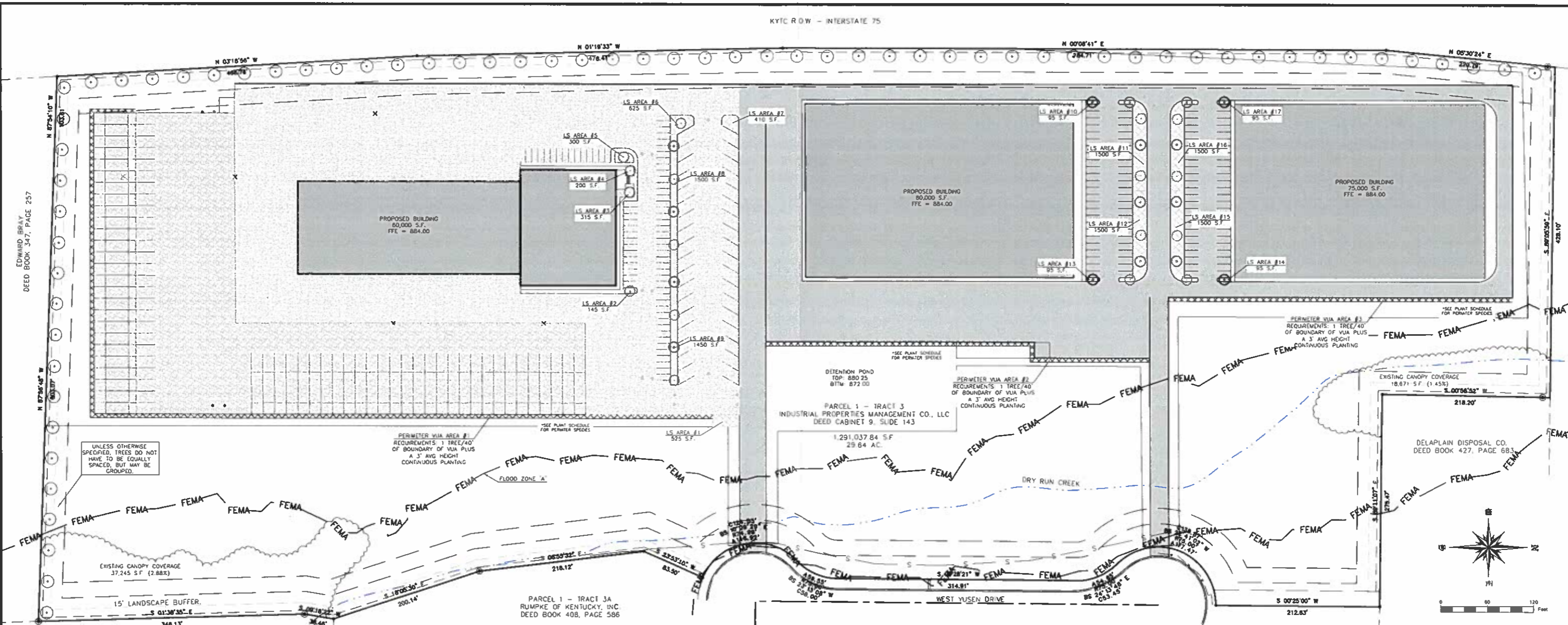
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REVISIONS	SCALE: 1" = 60'
JOB NO ENGR-01-001	
DETAILED BY: TJB	
REVIEWED BY: TWB	
DATE: Dec 28, 2022	
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**BEDROCK**  
ENGINEERING, PLLC

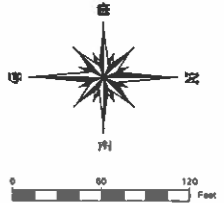
WORLDWIDE EQUIPMENT  
PRELIMINARY DEVELOPMENT PLAN  
WEST YUSEN DRIVE - SCOTT COUNTY - GEORGETOWN, KY



ALCH FORCE USA, INC.  
DEED BOOK 209, PAGE 124  
PLAT CABINET 1, SLIDE 164

EDWARD BRAY  
DEED BOOK 347, PAGE 257

UNLESS OTHERWISE SPECIFIED, TREES DO NOT HAVE TO BE EQUALLY SPACED, BUT MAY BE GROUPED.



**LANDSCAPING NOTES**

- CONTRACTOR RESPONSIBLE FOR LOCATING AND PROTECTING ALL UNDERGROUND UTILITIES PRIOR TO DIGGING.
- CONTRACTOR RESPONSIBLE FOR PROTECTING EXISTING TREES FROM DAMAGE DURING CONSTRUCTION AS SHOWN ON PLANS.
- GENERAL CONTRACTOR TO INSTALL 6" MINIMUM DEPTH OF CLEAN, FRIABLE TOPSOIL AT ALL PLANTING BEDS AND LAWN AREAS PRIOR TO FINE GRADING.
- ALL SHRUB BEDS TO BE MULCHED WITH A 4" MINIMUM LAYER OF HARDWOOD MULCH (BROWN).
- EXISTING GRASS IN PROPOSED PLANTING AREAS TO BE KILLED AND REMOVED AND AREA TO BE HAND RAISED TO REMOVE ALL ROCKS AND DEBRIS LARGER THAN 1" IN DIAMETER PRIOR TO PLANTING SHRUBS OR LAYING SOO. LANDSCAPE CONTRACTOR TO PROVIDE FINE GRADING.
- ANY EXISTING GRASS DISTURBED DURING CONSTRUCTION TO BE FULLY REMOVED, REGRADED, AND REPLACED. ALL TREE MARKS AND INTENTIONS TO BE REPAIRED AND NOTED.
- SOIL TO BE TESTED TO DETERMINE FERTILIZER AND LIME REQUIREMENTS AND DISTRIBUTED PRIOR TO LAYING SOO AS DIRECTED LANDSCAPE ARCHITECT.
- SOO TO BE DELIVERED FRESH/CUT LESS THAN 24 HOURS PRIOR TO ARRIVING ON SITE. LAY IMMEDIATELY, ROLLED, AND WATERED. THOROUGHLY IMMEDIATELY AFTER PLANTING. EDGE OF SOO ADJACENT TO MULCH BEDS TO BE SHOVEL CUT. ALL SOO TO BE DELIVERED IN LARGEST ROLLS AVAILABLE. THERE SHALL BE NO GAPS BETWEEN SOO JOINTS.
- ALL CHANGES TO DESIGN OR PLANT SUBSTITUTIONS ARE TO BE AUTHORIZED IN WRITING BY THE LANDSCAPE ARCHITECT AND CONSTRUCTION PROJECT MANAGER.
- ALL LANDSCAPING SHALL BE INSTALLED IN CONFORMANCE WITH ANSI Z60.1 THE "AMERICAN STANDARD FOR NURSERY STOCK" AND THE ACCEPTED STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANTS INSTALLED FOR ONE FULL YEAR FROM DATE OF ACCEPTANCE BY FLYING HORSE CONVENIENCE STORE. ALL PLANTS SHALL BE ALIVE AND AT A VIGOROUS RATE OF GROWTH AT THE END OF THE GUARANTEE PERIOD. THE LANDSCAPE CONTRACTOR SHALL NOT BE RESPONSIBLE FOR ACTS OF GOD OR VANDALISM.
- ANY PLANT THAT IS DETERMINED DEAD, IN AN UNHEALTHY OR UNSIGHTLY CONDITION, LOST ITS SHAPE DUE TO DEAD BRANCHES OR OTHER SYMPTOMS OF POOR, NON-VIGOROUS GROWTH, AS DETERMINED BY THE LANDSCAPE ARCHITECT, SHALL BE REPLACED BY THE LANDSCAPE CONTRACTOR AT NO COST TO FLYING HORSE CONVENIENCE STORE.
- GENERAL CONTRACTOR TO MOUND ALL PARKING ISLANDS 6" WITH CLEAN-SCREENED TOPSOIL.
- PRIOR TO INSTALLATION, THE LANDSCAPE CONTRACTOR SHALL INSPECT THE SUBGRADE, GENERAL SITE CONDITIONS, VERIFY ELEVATIONS, UTILITY LOCATIONS, IRRIGATION APPROVE TOPSOIL PROVIDED BY GENERAL CONTRACTOR AND OBSERVE THE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE DONE. NOTIFY GENERAL CONTRACTOR OF ANY UNSATISFACTORY CONDITIONS, AND WORK SHALL NOT PROCEED UNTIL SUCH CONDITIONS HAVE BEEN CORRECTED AND ARE ACCEPTABLE TO THE LANDSCAPE ARCHITECT, LANDSCAPE CONTRACTOR, AND CONSTRUCTION MANAGER.
- WATER ALL PLANT MATERIAL THAT ARE NEWLY PLANTED THOROUGHLY TWICE IN FIRST 24 HOURS AND APPLY MICH IMMEDIATELY.
- SITE TO BE 100% IRRIGATED IN ALL PLANTING BEDS AND GRASS AREA BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM.
- ALL TREE PROTECTION DEVICES TO BE INSTALLED BY GENERAL CONTRACTOR PRIOR TO THE START OF LAND DISTURBANCES AND MAINTAINED UNTIL FINAL LANDSCAPING.
- ALL TREE PROTECTION AREAS TO BE PROTECTED FROM SEDIMENTATION.
- ALL TREE PROTECTION FENCING TO BE INSPECTED DAILY, AND REPAIRED OR REPLACED AS NEEDED OR INSTRUCTED BY THE LANDSCAPE ARCHITECT.
- LANDSCAPE CONTRACTOR SHALL PROVIDE A 1 YEAR MAINTENANCE PERIOD UNDER SEPARATE CONTRACT FOLLOWING ACCEPTANCE BY THE LANDSCAPE ARCHITECT AND CONSTRUCTION MANAGER.
- REQUIREMENTS SHOWN ARE PER CITY ZONING ORDINANCE. SUBSTITUTIONS ARE NOT ALLOW UNLESS APPROVED PRIOR TO SUBSTITUTION.
- AFTER INSTALLATION, LANDSCAPING WILL BE MAINTAINED BY OWNER.

- NOTE:
- EXTERIOR PERIMETER OF THE PROPERTY SHALL CONFORM TO THE CITY OF GEORGETOWN'S LANDSCAPE AND LAND USE BUFFER ORDINANCE SECTION 6.12
  - ALL INTERIOR PARKING AREAS AND DRIVES SHALL CONFORM TO THE CITY'S OF GEORGETOWN'S LANDSCAPE AND LAND USE BUFFER ORDINANCE SECTION 6.13

**PLANT STANDARDS**

THE STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" REPRESENT GENERAL GUIDELINE SPECIFICATIONS ONLY AND WILL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL. ALL PLANTS MUST MEET MINIMUM SIZE NOTED AT THE MATERIALS SCHEDULE, AND MEET THE CHARACTERISTICS STATED ON THIS DRAWING. ALL MATERIAL INSTALLED ON THE SITE MUST MEET OR EXCEED THESE SPECIFICATIONS. ANY TREES OR SHRUBS NOT MEETING THESE STANDARDS CAN BE REJECTED AT TIME OF INSPECTION.

**TREE SPECIFICATIONS**

- DECIDUOUS TREES SHALL HAVE ONE DOMINANT SINGLE STRAIGHT TRUNK WITH THE TIP OF THE LEADER ON THE MAIN TRUNK LEFT INTACT AND THE TERMINAL BID ON THE CENTRAL LEADER IS AT THE HIGHEST POINT ON THE TREE.
- TREES WITH FORKED TRUNKS ARE ACCEPTABLE IF ALL OF THE FOLLOWING CONDITIONS ARE MET:
  - ONE FORK IS LESS THAN 2/3 THE DIAMETER OF THE DOMINANT TRUNK.
  - THE TOP 1/3 OF THE SMALLER FORK IS REMOVED AT THE TIME OF PLANTING.
  - NO BRANCH IS GREATER THAN 2/3 THE DIAMETER OF THE TRUNK DIRECTLY ABOVE THE BRANCH.
  - THE TRUNK AND/OR MAJOR BRANCHES SHALL NOT TOUCH.
  - SEVERAL BRANCHES ARE LARGER IN DIAMETER AND OBVIOUSLY MORE DOMINANT.
  - BRANCHING HABIT IS MORE HORIZONTAL THAN VERTICAL, AND NO BRANCHES ARE ORIENTED NEARLY VERTICAL TO THE TRUNK.
  - BRANCHES ARE EVENLY DISTRIBUTED AROUND THE TRUNK WITH NO MORE THAN ONE MAJOR BRANCH LOCATED DIRECTLY ABOVE ANOTHER AND THE CROWN IS FULL OF FOLIAGE EVENLY DISTRIBUTED AROUND THE TREE.
  - CROWN SPREAD SHALL LOOK PROPORTIONAL TO THE TREE.
  - NO FLUSH CUTS OR OPEN TRUNK WOUNDS OR OTHER BARK INJURY.
  - ROOT BALL MEETS ALL ANSI STANDARDS AND IS APPROPRIATELY SIZED.

- DEFICIENCIES NOT ACCEPTED:
- TIP DIEBACK ON 5% OF BRANCHES
  - CROWN THINNING OR SPARSELY FOLIATED
  - INCLUDED BARK
  - MAJOR BRANCHES TOUCHING
  - ASYMMETRICAL BRANCHING

MITCHELL BLUMENFELD  
DEED BOOK 317, PAGE 607

**TREE CANOPY**

EXISTING	55,918 S.F. (4.33%)
PRESERVED	55,918 S.F. (4.33%)
REQUIRED	77,482 S.F. (6.00%)
PROPOSED	52,752 S.F. (4.09%)
TOTAL (PRESERVED + PROPOSED)	108,670 S.F. (8.42%)

**PLANT SCHEDULE**

PERIMETER TREES	QTY	COMMON/BOTANICAL NAME	CONT	CAL	SIZE
	06	SUMMER RED MAPLE / ACER RUBRUM / SUMMER RED 5' CLEAR TRUNK, SINGLE, STRAIGHT CENTRAL LEADER, EVEN BRANCHING. SEE TREE SPECIFICATIONS	B & B	2"	12'-14' HT
PERIMETER SHRUBS	QTY	COMMON/BOTANICAL NAME	CONT	WIDTH	
	-	CHESTNUT HILL LAUREL / PRUNUS LAUROCARPUS / CHESTNUT HILL / FULL DENSE FORM	15'	HT	
VIA TREES	QTY	COMMON/BOTANICAL NAME	CONT	CAL	SIZE
	17	PURPLE LEAF REDBUD / CERIS CANADENSIS / MERLOT SINGLE STEM, 5' CLEAR TRUNK, EVENLY BRANCHED, FULL SYMMETRICAL CROWN. SEE TREE SPECIFICATIONS	B & B	1.5"	10'-12' HT
	18	ALFIE BLM / ULMUS PARVIFLORUS / ALFIE 5' CLEAR TRUNK, SINGLE, STRAIGHT CENTRAL LEADER, FULL UPSHEPT BRANCHING, EVEN BRANCHING. SEE TREE SPECIFICATIONS	B & B	2"	12'-14' HT
VIA SHRUBS	QTY	COMMON/BOTANICAL NAME	CONT	WIDTH	
	-	EDWARD GOUCHER FULL DENSE FORM	15'	HT	
	-	SEA GREEN / JUNIPER 7.5' / JUNIPERUS CHINENSIS / SEA GREEN / FULL, HEAVY, WELL BRANCHED	18'	HT	

**LANDSCAPE AREA TABLE**

AREA#	AREA SIZE (S.F.)	LARGE TREE	MED. TREE	SMALL TREE	LARGE SHRUB	MED. SHRUB	SMALL SHRUB	GROUND COVER	TOTAL L.S. AREA
1	525	0							525
2	145	1							145
3	315	1							315
4	200	1							200
5	300	1							300
6	625	1							625
7	410	0							410
8	1500	4							1500
9	1450	4							1450
10	95	1							95
11	2100	4							1500
12	2100	4							1500
13	92	1							95
14	96	1							95
15	2100	4							1500
16	2100	4							1500
17	95	1							95
TOTALS	14250	33							11250

REVISIONS	SCALE: 1" = 60'
JOB NO. ENGR-01-001	
DETAILED BY: TJB	
REVIEWED BY: TWB	
DATE: Dec. 28, 2022	
COPYRIGHT © 2022	
BEDROCK ENGINEERING, PLLC	



WORLDWIDE EQUIPMENT  
PRELIMINARY DEVELOPMENT PLAN  
WEST YUSEF DRIVE - SCOTT COUNTY - GEORGETOWN, KY

SHEET  
C-6.0

**BURCHFIELD PROPERTY  
FINAL SUBDIVISION PLAT**

**Staff Report to the Georgetown-Scott County Planning Commission  
MARCH 9, 2023**

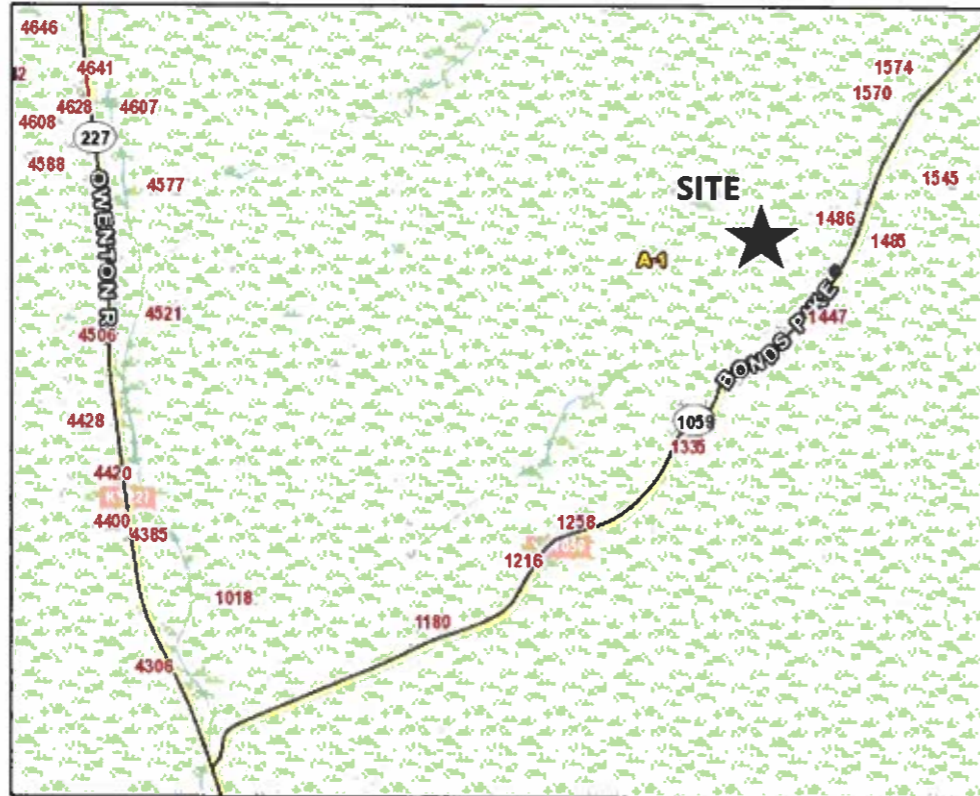
**FILE NUMBER:** FSP-2023-02

**PROPOSAL:** Final  
Subdivision  
Plat to  
subdivide  
farm into four  
(4) tracts

**LOCATION:** 1468 Bond  
Pike

**OWNER:** David  
Burchfield,  
for Betty  
Burchfield

**CONSULTANT:** Robert  
Semones



**STATISTICS:**

Zone	A-1 (Agricultural)
Surrounding Zone	A-1
Proposed Lot Acreage	67.79 ac (total) Tract #1: 13.56 ac, Tract #2: 13.56 ac, Tract #3: 5.14 ac, Tract #4/Remainder: 35.53 ac
Access	Bonds Pike [KY-1059]
Variances/Waivers	None

**BACKGROUND:**

The application before the Planning Commission is a Final Subdivision Plat to subdivide one farm totaling 67.79 acres into four tracts located on Bonds Pike (KY-1059). Since the proposed subdivision will create greater than three lots, Planning Commission hearing is required. The Project Site has not been subdivided previously.



**Plat Review:**

The proposed plat shows the appropriate setbacks, lot size, and width requirements. It is important to note that the build line for Tract #3 (5.14 ac parcel) must be amended to only where the lot width meets or exceeds 250 feet.

**Access:**

Bonds Pike is a state managed route and new entrances require KYTC District #7 approval. Each lot will have its own entrance, and permit numbers are noted on the plat.

**RECOMMENDATION:**

Staff recommends **approval** of the Final Subdivision Plat. If the Planning Commission approves the application, staff recommends including the following waivers, variances, and conditions of approval:

Conditions of Approval:

1. All applicable requirements of the *Zoning Ordinance and Subdivision & Development Regulations*.
2. Any revisions or amendments to the approved Preliminary Subdivision Plat shall be reviewed and approved by the Planning Commission staff (minor) or by the Planning Commission (major).
3. Prior to (as part of) the Final Subdivision Plat approval, the applicant shall provide the Planning Commission staff (GIS division) with a digital copy of the approved plat.
4. This Preliminary Subdivision Plat approval is valid for two years, subject to the requirements of Article 306 section A of the *Subdivision and Development Regulations*.

**NOTES**

THERE ARE DEDICATED RIGHT OF WAY PLANS FOR BONDS PIKE. RIGHT OF WAY IS 30' EACH SIDE OF CENTER LINE.

ALSO SHOWN IS A 30' EASEMENT FROM THE CENTER OF BOND PIKE. THIS EASEMENT IS IN PLACE FOR ANY POSSIBLE FUTURE MAINTENANCE OR WIDENING OF BOND PIKE AND TO PROVIDE A UTILITY EASEMENT.

ALSO SHOWN IS A SEPARATE 30'-UTILITY EASEMENT ADJACENT TO THE 30' EASEMENT FROM THE CENTER OF THE ROAD.

THIS IS FIRST DIVISION OF THIS PROPERTY SINCE OCTOBER, 1955. FURTHER SUBDIVISION WILL REQUIRE REVIEW AND APPROVAL OF THE PLANNING COMMISSION.

ACCORDING TO FIRM MAP - 220000000 DATED JANUARY 08, 2004 THE IMPROVEMENTS SHOWN HEREON DO NOT LIE WITHIN THE FIRM 100 YEAR FLOOD AREA, HOWEVER, A VERY SMALL PORTION OF THE SUBJECT PROPERTY DOES LIE IN THE 100 YEAR FIRM FLOOD ZONE.

FIRM FLOOD PLAIN, COMMUNITY - SCOTT COUNTY - 220001, PANEL 000 AND PANEL 000 SUFFIX C

SUBJECT PROPERTY CURRENTLY SERVED BY UTILITIES

BUILDING LINE SETBACK ALONG ROAD IS 50' AS MEASURED FROM THE RESERVED 30' RIGHT OF WAY LINE OF BOND PIKE

ALL OTHER SETBACKS ARE 50' FROM ANY BOUNDARY LINE

ALL NEW EASEMENTS SHOWN FROM BONDS PIKE HAVE BEEN APPROVED BY KYTC, DISTRICT 7 PERMITS BRANCH

NO MORE THAN THREE (3) TRACTS MAY BE ACCESSED BY A GRAVEL DRIVE. IF MORE THAN THREE (3) TRACTS ARE ACCESSED BY A GRAVEL DRIVE, THE DRIVE MUST BE UPGRADED TO CURRENT PUBLIC/Private ROAD STANDARDS.

\* FLOOD STUDY NOTE

THE AREA OUTSIDE THE FLOOD STUDY LIMITS IS SUBJECT TO LOCAL FLOODING. CLIENTS ARE ADVISED TO DETERMINE PROFESSIONAL ENGINEER IN THE STATE OF KENTUCKY TO DETERMINE SAFE BUILDING ELEVATION LIMITS OUTSIDE OF THE FLOOD RISK AREA.

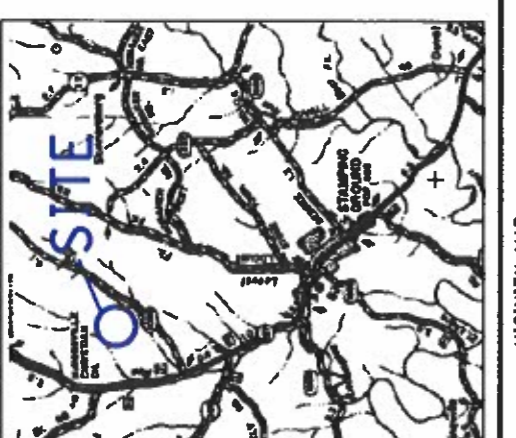
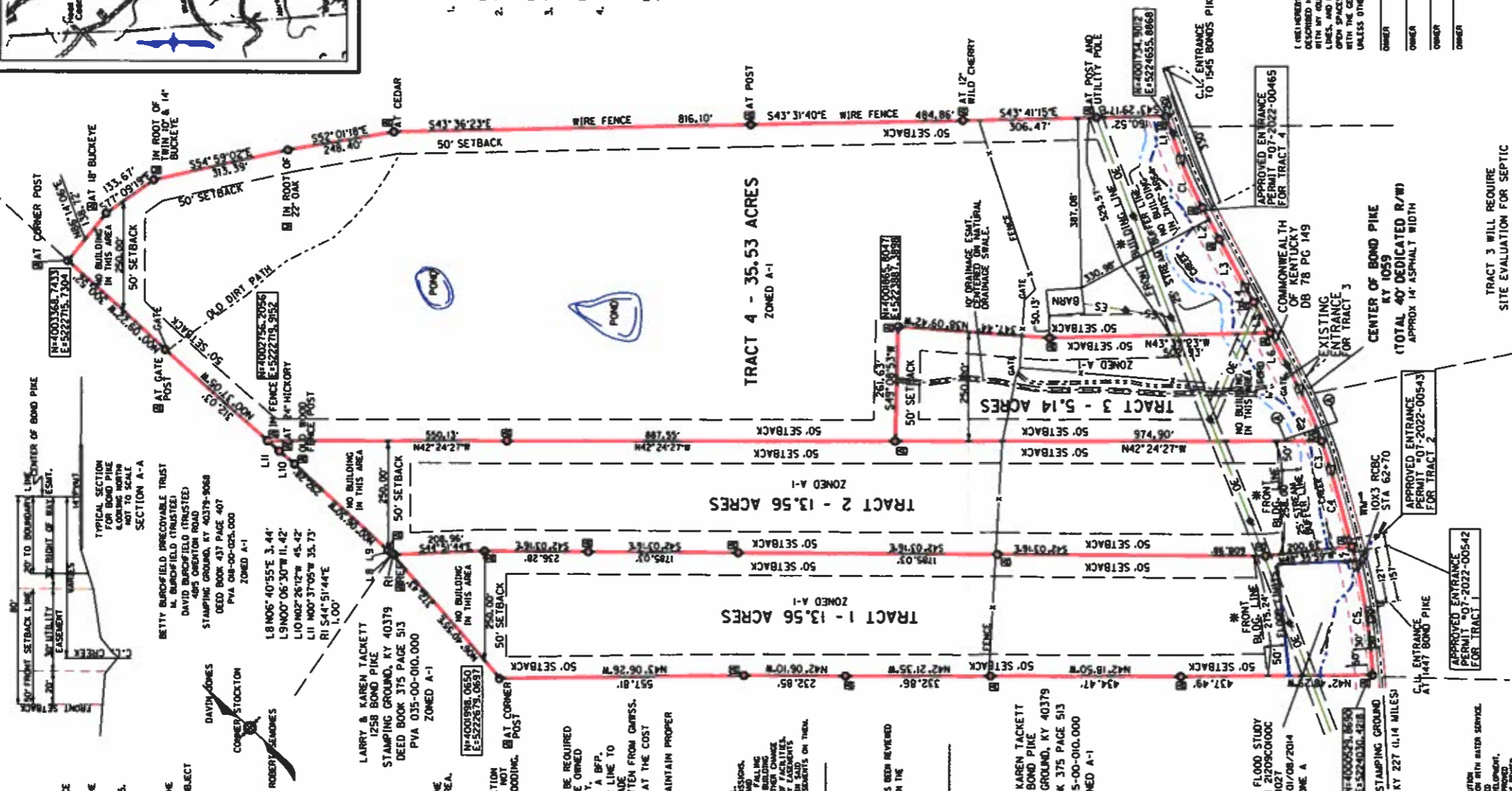
ANY MAN-MADE DEVELOPMENT OR CONSTRUCTION ACROSS OR ALONG THE STREAM (INCLUDING ENTRANCE/ACCESS DRIVES) WILL REQUIRE STATE AND LOCAL PERMIT APPROVAL PRIOR TO CONSTRUCTION AND DOCUMENTATION MUST BE PROVIDED THAT CONSTRUCTION WILL NOT IMPEDRE THE NATURAL STREAM FLOW OR CAUSE AN INCREASE IN FLOODING.

1. IF APPLICABLE, A TESTABLE BACKFLOW PREVENTER (BFP) WILL BE REQUIRED ON THE CUSTOMER SIDE OF THE WATER METER. BFP'S SHALL BE OWNED AND MAINTAINED BY THE PROPERTY OWNER AND TESTED YEARLY. PROPERTIES TO ACROSS OR OVER WATER ARE REQUIRED TO INSTALL A BFP. 2. SETBACKS SHALL BE GREATER THAN 40' FROM EXISTING WATER MAIN CHANGES GREATER THAN SAID DEPTHS SHALL HAVE PRIOR WRITTEN PERMITS FROM THE OWNER. 3. WHEN A WATER MAIN RELOCATION IS REQUIRED, IT SHALL BE AT THE COST OF THE OWNER. 4. ANY CONSTRUCTION OVER THE EXISTING WATER MAIN SHALL MAINTAIN PROPER COVER PER THE GUESS STANDARD SPECIFICATIONS.

CERTIFICATION OF UTILITY EASEMENT DESCRIPTION

CLIENTS MUST AND COMEY TO THE UTILITY UTILITIES. SOUTH CENTRAL WELL. GEORGETOWN MUNICIPAL WATER AND SEWER SERVICE CENTER. THEIR ADDRESSES, EASONS, AND LOTS. THE RIGHT TO THEM OF REMOVE ANY AND ALL THE STRUCTURES AND UTILITIES THAT INTERFERE WITH THE OPERATION AND MAINTENANCE OF SAID FACILITY, NO BUILDING OR OTHER STRUCTURE SHALL BE ERRECTED, AND NO LANDFILL OR OTHER CHANGE TO THE RIGHT OF ACCESS AND TRAILS IS HEREBY GRANTED TO USERS OF THE UTILITY EASEMENTS. AS REQUIRED TO CONSTRUCT, OPERATE, MAINTAIN AND REMOVE FACILITIES WITHIN SAID EASEMENTS. ALL OF THIS NOT HAVE ANY CURRENT REGULATED WILL HAVE EASEMENTS ON THEM.

DATE \_\_\_\_\_ OWNER \_\_\_\_\_



**VICINITY MAP**  
(NOT TO SCALE)

- PURPOSE OF PLAT**
- TO ILLUSTRATE THE DIVISION OF TRACT 1, 13.56 ACRES FROM THE BETTY BURCHFIELD PROPERTY AS DESCRIBED IN DB 300, PG 624 ROAD FRONTAGE OF TRACT 1 - 297.58'
  - TO ILLUSTRATE THE DIVISION OF TRACT 2, 13.56 ACRES FROM THE BETTY BURCHFIELD PROPERTY AS DESCRIBED IN DB 300, PG 624 ROAD FRONTAGE OF TRACT 2 - 250.15'
  - TO ILLUSTRATE THE DIVISION OF TRACT 3, 5.14 ACRES FROM THE BETTY BURCHFIELD PROPERTY AS DESCRIBED IN DB 300, PG 624 ROAD FRONTAGE OF TRACT 3 - 250.15'
  - TO ILLUSTRATE THE DIVISION OF TRACT 4, 35.53 ACRES FROM THE BETTY BURCHFIELD PROPERTY AS DESCRIBED IN DB 300, PG 624 ROAD FRONTAGE OF TRACT 4 - 547.82'
- NO RESIDUAL OF THE BURCHFIELD PROPERTY REMAINS
- TOTAL AREA OF SURVEY - 67.79 ACRES G.952.932.4 50. FT.1

**OWNER**  
JOHN & WHITNEY SOSSE  
1570 BOND PIKE  
STAMPING GROUND, KY 40379  
DEED BOOK 341 PAGE 808  
PVA 035-00-006.000  
ZONED A-1

**SURVEY CLASSIFICATION**  
THIS SURVEY AND PLAT MEETS OR EXCEEDS THE TECHNICAL STANDARDS FOR A RURAL SURVEY FOR RURAL LAND IN ACCORDANCE WITH 201 KAR 18:150.

**REFERENCE BEARING**  
FROM GRID COORDINATES DERIVED FROM GPS METHOD  
LOCAL DATUM - NAD 83 (CONUS08)  
GLOBAL REFERENCE DATUM - NAD83 (CONUS08)  
GEOID MODEL - GEOID CONUS08Z  
DISPLACEMENT MODEL - NTP V3.2.9

- LEGEND**
- 30' RW & ESMT.
  - 30' UTILITY ESMT. MEASURED FROM 30' RW & ESMT.
  - 50' BUILDING SETBACK LINE AS MEASURED FROM 30' RW & ESMT.
  - OVERHEAD SINGLE PHASE ELECTRIC LINES
  - ELECTRIC SERVICE LINES TO BARN
  - 100 YEAR FIRM FLOOD LIMITS
  - EXISTING UTILITY POLE
  - WATER METERS ON EAST SIDE OF ROAD
  - 25' STREAM BUFFER LINE
- CERTIFICATION OF OWNERSHIP AND BOUNDARY**
- I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I ESTABLISH AND RECOGNIZE THIS PLAT OF THE DEVELOPMENT WITH MY CONSENT. I ESTABLISH THE BOUNDARY OF THE DEVELOPMENT AND DEDICATE ALL STREETS, ALLEYS, WALKS, PATHS AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS SHOWN, IN ACCORDANCE WITH THE GEORGETOWN-SCOTT COUNTY SUBDIVISION AND DEVELOPMENT REGULATIONS UNLESS OTHERWISE NOTED.
- OWNER** \_\_\_\_\_ DATE \_\_\_\_\_  
**OWNER** \_\_\_\_\_ DATE \_\_\_\_\_  
**OWNER** \_\_\_\_\_ DATE \_\_\_\_\_  
**OWNER** \_\_\_\_\_ DATE \_\_\_\_\_

**FINAL SUBDIVISION PLAT**  
**SCOTT COUNTY, KY.**  
**BOND PIKE**  
**OWNER**  
BETTY BURCHFIELD DIVISION  
4815 ORENTON ROAD  
STAMPING GROUND, KY 40379  
PROPERTY LOCATED AT  
1486 BOND PIKE (SITE ADDRESS)  
STAMPING GROUND, KY 40379  
TITLE REFERENCE DEED BOOK 322, PAGE 767

COUNTY OF \_\_\_\_\_ SCOTT  
ZONED \_\_\_\_\_ A-1  
GIS PVA ID: 035-00-006.000

THIS PLAT OF SURVEY REPRESENTS A BOUNDARY SURVEY AND COMPLES WITH 201 KAR 18:150.  
PROPERTY LOCATED APPROXIMATELY 1.4 MILES EAST FROM THE INTERSECTION OF KY 227 LYING ON THE WEST SIDE OF BOND PIKE.  
NO CEMETERY FOUND ON DIVISION SHOWN

**PLAT & SURVEY BY:**  
SEMONES LAND SURVEYING, PLLC  
PERMIT #833  
ROBERT T. SEMONES  
KY PLS 3141  
317 WEST FOURTH STREET  
FRANKFORT, KY, 40601  
502-319-5311  
rsemones@semones.com  
FIELD COMPLETION DATE: 01/21/2023  
PLAT COMPLETION DATE: 01/22/2023  
REVISED PLAT DATE: 01/19/2023

**CLIENT**  
DAVID BURCHFIELD  
4815 ORENTON ROAD  
STAMPING GROUND, KY 40379  
859-321-1247

**EXCEPTIONS TO SURVEY**  
THIS SURVEY IS SUBJECT TO ALL RIGHTS OF WAYS, EASEMENTS, CONVEYANCES AND RESTRICTIONS THAT A TITLE EXAMINATION WOULD REVEAL. NO TITLE REPORT HAS BEEN PROVIDED TO THE SURVEYOR FOR THIS SURVEY.

THE BEARINGS AND DISTANCES SHOWN HAVE NOT BEEN ADJUSTED FOR CLOSURE.

**CERTIFICATION OF THE APPROVAL OF PUBLIC RECORDS SYSTEMS**  
I HEREBY CERTIFY THAT THE PRIVATE RECORD SYSTEM INSTALLED OR PROPOSED TO BE INSTALLED IN THE DEVELOPMENT ENTITLED BURCHFIELD DIVISION FULLY MEETS THE REQUIREMENTS OF THE SCOTT COUNTY HEALTH DEPARTMENT AND hereby is approved as shown.

DATE \_\_\_\_\_

SCOTT COUNTY HEALTH DEPARTMENT OFFICIAL

**CERTIFICATION OF AVAILABILITY OF UTILITY SERVICES**

I HEREBY CERTIFY THAT KENTUCKY UTILITIES ELECTRIC SHALL SUPPLY TRACT 1, TRACT 2, TRACT 3, AND TRACT 4 OF THE BETTY BURCHFIELD DIVISION WITH ELECTRIC/GAS/TELEPHONE SERVICES AND THAT THE PROPOSED UTILITY EASEMENTS OF SAID DEVELOPMENT MEET THE REQUIREMENTS OF THIS AGENCY AND ALL OTHER APPLICABLE REQUIREMENTS.

**CERTIFICATION OF ACCURACY**

I HEREBY CERTIFY THAT THE PLAT SHOWN HEREON IS TRUE AND CORRECT SURVEY TO THE MINIMUM STANDARDS OF PRACTICE OF THE KENTUCKY STATE BOARD OF LICENSED PROFESSIONAL ENGINEERS AND LAND SURVEYORS AS DESCRIBED IN STATUTES OF PRACTICE FOR AN ANNUAL DATED DECEMBER 3, 2010

2/19/2023  
ROBERT T. SEMONES  
KY PLS 3141

**COMPANY REPRESENTATIVE**

**STATE OF KENTUCKY**  
ROBERT T. SEMONES  
LICENSED PROFESSIONAL LAND SURVEYOR

**NOT TO SCALE**

**EXCEPTIONS TO SURVEY**  
THIS SURVEY IS SUBJECT TO ALL RIGHTS OF WAYS, EASEMENTS, CONVEYANCES AND RESTRICTIONS THAT A TITLE EXAMINATION WOULD REVEAL. NO TITLE REPORT HAS BEEN PROVIDED TO THE SURVEYOR FOR THIS SURVEY.

THE BEARINGS AND DISTANCES SHOWN HAVE NOT BEEN ADJUSTED FOR CLOSURE.

**CERTIFICATION OF AVAILABILITY OF UTILITY SERVICES**

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**CERTIFICATION OF ACCURACY**

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2/19/2023  
ROBERT T. SEMONES  
KY PLS 3141

**CERTIFICATION OF UTILITY EASEMENT DESCRIPTION**

CLIENTS MUST AND COMEY TO THE UTILITY UTILITIES. SOUTH CENTRAL WELL. GEORGETOWN MUNICIPAL WATER AND SEWER SERVICE CENTER. THEIR ADDRESSES, EASONS, AND LOTS. THE RIGHT TO THEM OF REMOVE ANY AND ALL THE STRUCTURES AND UTILITIES THAT INTERFERE WITH THE OPERATION AND MAINTENANCE OF SAID FACILITY, NO BUILDING OR OTHER STRUCTURE SHALL BE ERRECTED, AND NO LANDFILL OR OTHER CHANGE TO THE RIGHT OF ACCESS AND TRAILS IS HEREBY GRANTED TO USERS OF THE UTILITY EASEMENTS. AS REQUIRED TO CONSTRUCT, OPERATE, MAINTAIN AND REMOVE FACILITIES WITHIN SAID EASEMENTS. ALL OF THIS NOT HAVE ANY CURRENT REGULATED WILL HAVE EASEMENTS ON THEM.

DATE \_\_\_\_\_ OWNER \_\_\_\_\_

**CERTIFICATION OF THE DEVELOPMENT PLAN OR SUBDIVISION PLAT**

I HEREBY CERTIFY THAT THE DEVELOPMENT PLAN OR SUBDIVISION PLAT SHOWN HAS BEEN REVIEWED AND FOUND TO COMPLY WITH THE DIGITAL SUBMITTAL REQUIREMENTS SET FORTH IN THE SUBDIVISION AND DEVELOPMENT REGULATIONS.

DATE \_\_\_\_\_

GIS ANALYST/TECHNICIAN: GEORGETOWN-SCOTT COUNTY PLANNING COMMISSION

**CERTIFICATION OF THE DEVELOPMENT PLAN**

I HEREBY CERTIFY THAT THE FINAL SUBDIVISION PLAT SHOWN HEREON HAS BEEN REVIEWED AND FOUND TO COMPLY WITH THE DIGITAL SUBMITTAL REQUIREMENTS SET FORTH IN THE SUBDIVISION AND DEVELOPMENT REGULATIONS.

DATE \_\_\_\_\_

# HALE PROPERTY ZONING MAP AMENDMENT

## Staff Report to the Georgetown-Scott County Planning Commission MARCH 9, 2023

**FILE NUMBER:** ZMA-2023-03

**PROPOSAL:** Zoning Map Amendment to change the zoning district from A-1 to R-1A.

**LOCATION:** 255 Sebree Road

**APPLICANT:** Greg & Stephanie Hale

**CONSULTANT:** Robert Semones



### STATISTICS:

Current Zone	A-1 (Agricultural) & R-1A (Single-Family Residential)
Proposed Zone	R-1A (Single-Family Residential)
Surrounding Zone(s)	A-1 & R-1A
Site Acreage	0.547 Acres To Be Rezoned
Access	Sebree Road (KY-1688)
Water / Sewer	Yes / Yes

### BACKGROUND:

The Project Site is a 1.275-acre proposed lot on Sebree Road. The 0.728-acre front portion of the site is zoned R-1A and located inside city limits for the City of Stamping Ground. The back 0.547 acres is outside city limits and zoned A-1. Staff recommends any areas rezoned to an urban residential district (such as the R-1A district) also be annexed into city limits.

### Concept Plan Review:

The Concept Plan shows the subdivision of a single urban residential lot. The concept plan adequately demonstrates the ability of the area proposed for rezoning to be meaningfully developed in a manner consistent with local regulations and fitting in with the context of the surrounding area.

### LEGAL CONSIDERATIONS:

Any zone change request is required to meet the following standards from *Kentucky Revised Statutes*, Chapter 100:

**Section 100.213 Findings necessary for proposed map amendment – Reconsideration.**

1. *Before any map amendment is granted, the planning commission . . . must find that the map amendment is in agreement with the adopted comprehensive plan, or, in the absence of such a finding, that one (1) or more of the following apply and such finding shall be recorded in the minutes and records of the planning commission or the legislative body or fiscal court:*

- a. That the existing zoning classification given to the property is inappropriate and that the proposed zoning classification is appropriate;*
- b. That there have been major changes of an economic, physical, or social nature within the area involved which were not anticipated in the adopted comprehensive plan and which have substantially altered the basic character of such area.*

**Part 1:** In analyzing whether the Comprehensive Plan supports the Zoning Map Amendment, staff looks primarily at the Future Land Use Map and the adopted Goals & Objectives of the plan for guidance. The Comprehensive Plan’s Future Land Use (FLU) Map shows the subject property having an Urban Residential future land use, which is in agreement with this application.

The Comprehensive Plan describes that new urban residential growth should only occur within cities and Urban Service Boundaries<sup>1</sup>. Creating a new lot smaller than 5 acres, requires the lot to be served by public sewer, which also requires the lot to be annexed.

Based on the analysis above, staff finds that this application is in agreement with the Comprehensive Plan. Therefore, we need not consider parts a & b of KRS 100.213 (1).

**FINDINGS:**

- 1. The Zoning Map Amendment meets the findings necessary described in KRS 100.213.

**RECOMMENDATION:**

Based on the findings above, staff recommends the Planning Commission recommends **approval** of the Application to Stamping Ground City Commission. Should the Planning Commission recommend approval, staff suggests adding the following conditions of approval.

Conditions of Approval:

- 1. All applicable requirements of the *Zoning Ordinance* and *Subdivision & Development Regulations*.
- 2. The Applicant shall request annexation into the City of Stamping Ground for any portion of the site being zoned R-1A.

---

<sup>1</sup> 2017 Comprehensive Plan pg. 49

**NOTES**

THERE ARE NO DEDICATED RIGHT OF WAY PLANS FOR SEEBEE ROAD. SEEBEE ROAD IS A STATE MAINTAINED ROADWAY.

ALSO SHOWN IS A 30' EASEMENT FROM THE CENTER OF SEEBEE ROAD. THIS EASEMENT IS IN PLACE FOR ANY POSSIBLE FUTURE MAINTENANCE OR WIDENING OF SEEBEE ROAD AND TO PROVIDE A UTILITY EASEMENT. ALSO SHOWN IS A SEPARATE 30' UTILITY EASEMENT ADJACENT TO THE 30' EASEMENT FROM THE CENTER OF THE ROAD.

THIS IS FIRST DIVISION OF THIS PROPERTY SINCE OCTOBER, 1955. FURTHER SUBDIVISION WILL REQUIRE REVIEW AND APPROVAL OF THE PLANNING COMMISSION.

ACCORDING TO FIRM MAP # 200500093C DATED JANUARY 08, 2004 THE IMPROVEMENTS SHOWN HEREON DO NOT LIE WITHIN THE FIRM 100 YEAR FLOOD AREA.

FIRM FLOOD PLAIN COMMUNITY - SCOTT COUNTY  
# 200207, PANEL 0093 SUFFIX C

SUBJECT PROPERTY CURRENTLY SERVED BY UTILITIES BUILDING LINE SETBACK ALONG ROAD IS 40' AS MEASURED FROM THE RESERVED 30'-RIGHT OF WAY LINE OF CANEY CREEK ROAD ALL OTHER SETBACKS ARE AS SHOWN FOR R-1A ZONE

ANY NEW ENTRANCES FROM SEEBEE ROAD WILL REQUIRE APPROVAL BY KENTUCKY TRANSPORTATION CABINET, DISTRICT 7

NO MORE THAN THREE (3) TRACTS MAY BE ACCESSED BY A GRAVEL DRIVE. IF MORE THAN THREE (3) TRACTS ARE ACCESSED BY A GRAVEL DRIVE, THE DRIVE MUST BE UPGRADED TO CURRENT PUBLIC/PRIVATE ROAD STANDARDS.

**SEWER WATER LINE NOTES**

- IF APPLICABLE, A TESTABLE BACKFLOW PREVENTER (BFP) WILL BE REQUIRED ON THE DOWNSTREAM SIDE OF THE WATER METER. BFP'S SHALL BE OWNED AND MAINTAINED BY THE PROPERTY OWNER AND TESTED YEARLY. PROPERTIES 10 ACRES OR GREATER ARE REQUIRED TO INSTALL A BFP.
- OWNER SHALL NOT CAUSE THE GRADE OF THE EXISTING WATER LINE TO BE LESS THAN 30 INCHES OR MORE THAN 60 INCHES. ANY GRADE CHANGES GREATER THAN SAID DEPTHS SHALL HAVE PRIOR WRITTEN FROM GHPSS. WHEN A WATER MAIN RELOCATION IS REQUIRED, IT SHALL BE AT THE COST OF THE OWNER.
- ANY CONSTRUCTION OVER THE EXISTING WATER MAIN SHALL MAINTAIN PROPER COVER PER THE GHPSS STANDARD SPECIFICATIONS.

**UTILITIES**

ELECTRIC - KENTUCKY UTILITIES  
WATER - GHPSS  
SEWER - GHPSS  
TELEPHONE - BELL SOUTH

**ZONING CLASSIFICATION - A-1**

BUILDING LINE SETBACKS  
FRONT - 50' FROM EDGE OF 30' R/W LINE  
SIDE - 50'  
REAR - 50'

MIN. LOT WIDTH AT BUILDING LINE: 250'

**ZONING CLASSIFICATION - R-1A**

BUILDING LINE SETBACKS  
FRONT - 40' FROM EDGE OF 30' R/W LINE  
SIDE - 12'  
REAR - 25'

ACCESSORY STRUCTURE  
FRONT - 40' FROM EDGE OF 30' R/W LINE  
SIDE - 5'  
REAR - 5'

MIN. LOT AREA IF SERVED BY SANITARY SEWER: 12,000 SQ. FT. (0.275 AC.)

MIN. LOT AREA WITHOUT SANITARY SEWER: 5 ACRES

MIN. LOT WIDTH AT BUILDING LINE: 100'

**CERTIFICATION OF UTILITY EASEMENT DESCRIPTION**

I HEREBY CERTIFY THAT THE CITY OF SCOTT COUNTY, KY, HAS FACILITIES WITHIN THE WATER DISTRIBUTION AND SANITARY SEWER COLLECTION AND CONVEYANCE SYSTEMS DESCRIBED IN THIS PLAT. THE CITY OF SCOTT COUNTY, KY, HAS FACILITIES WITHIN THE WATER DISTRIBUTION AND SANITARY SEWER COLLECTION AND CONVEYANCE SYSTEMS DESCRIBED IN THIS PLAT. THE CITY OF SCOTT COUNTY, KY, HAS FACILITIES WITHIN THE WATER DISTRIBUTION AND SANITARY SEWER COLLECTION AND CONVEYANCE SYSTEMS DESCRIBED IN THIS PLAT.

**CERTIFICATION OF AVAILABILITY OF UTILITY SERVICES**

I HEREBY CERTIFY THAT THE AVAILABILITY OF UTILITY SERVICES (ELECTRIC, GAS, TELEPHONE) AND THAT THE PROPOSED UTILITY EASEMENTS OF SAID DEVELOPMENT MEET THE REQUIREMENTS OF THIS PLAT.

**CERTIFICATION OF AVAILABILITY OF UTILITY SERVICES**

I HEREBY CERTIFY THAT THE AVAILABILITY OF UTILITY SERVICES (ELECTRIC, GAS, TELEPHONE) AND THAT THE PROPOSED UTILITY EASEMENTS OF SAID DEVELOPMENT MEET THE REQUIREMENTS OF THIS PLAT.

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I HEREBY CERTIFY THAT THE AVAILABILITY OF UTILITY SERVICES (ELECTRIC, GAS, TELEPHONE) AND THAT THE PROPOSED UTILITY EASEMENTS OF SAID DEVELOPMENT MEET THE REQUIREMENTS OF THIS PLAT.

**MONUMENTATION LEGEND**

1 - SET 1/2" STEEL REBAR, 18" IN LENGTH WITH CAP STAMPED "SEMONES 3141", THIS SURVEY.

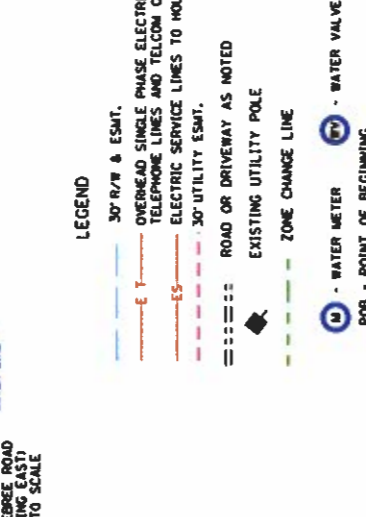
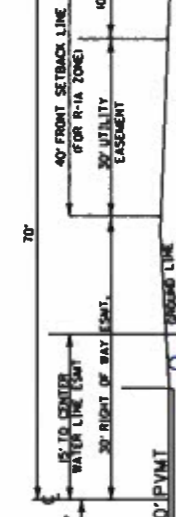
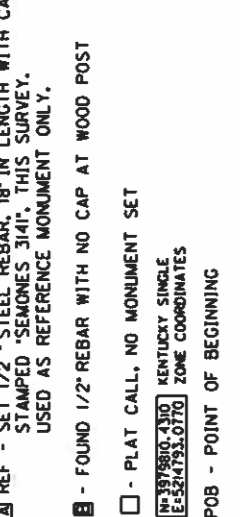
2 - SET 1/2" STEEL REBAR, 18" IN LENGTH WITH CAP STAMPED "SEMONES 3141", THIS SURVEY. USED AS REFERENCE MONUMENT ONLY.

3 - FOUND 1/2" REBAR WITH NO CAP AT WOOD POST

4 - PLAT CALL, NO MONUMENT SET

5 - KENTUCKY SINGLE ZONE COORDINATES (E=524793.0770)

POB - POINT OF BEGINNING



**STATEMENT ON PRECISION & MEASUREMENTS**

THIS SURVEY WAS PERFORMED BY THE AUTOMATIC MEASUREMENT METHOD USING THE UNADJUSTED LINEAR INTERSECTION METHOD ON 10/10/2023. THE SURVEY WAS COMPLETED ON 10/10/2023.

**PURPOSE OF PLAT**

1. TO ILLUSTRATE THE DIVISION OF TRACT 1-A (1.275 ACRES) FROM TRACT 1 OF THE BOBBY & MINNIE THOMASON PROPERTY AS DESCRIBED IN DB 157, PG 452 ROAD FRONTAGE OF TRACT 1-A - 181.2'

THERE REMAINS APPROXIMATELY 10.41 ACRES OF THE THOMASON PROPERTY BY DEED AND NOT BY SURVEY.

TOTAL AREA OF THIS SURVEY - 1.275 ACRES APPROXIMATELY 354.56' ROAD FRONTAGE REMAINS

**SURVEY CLASSIFICATION**

THIS SURVEY AND PLAT MEETS OR EXCEEDS THE TECHNICAL STANDARDS FOR AN URBAN SURVEY FOR URBAN LAND IN ACCORDANCE WITH 201 KAR 18150.

**REFERENCE BEARING**

FROM GRID COORDINATES DERIVED FROM GPS METHOD USING A SPECTRA GEOSPATIAL SPIN RECEIVER. THE BEARING IS REFERENCED TO THE NORTH AS A TRUE NETWORK BEARING - DIRECT GPS OBSERVATION LINKED TO NAD 83 COORDINATE CORRECTION RECEIVED VIA AT&T MFI MODEM AND ARE MARKED BY SINGLE ZONE

**CERTIFICATION OF OWNERSHIP AND OCCUPATION**

I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I HAVE FULLY ADDED THIS PLAT/PLAN OF THE DEVELOPMENT WITH MY OWN FREE CONSENT, ESTABLISHING THE MINIMUM BUILDING RESTRICTION LINES AND DEDICATE ALL STREETS, ALLEYS, WALKS, PAVES AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS SHOWN, IN ACCORDANCE WITH THE GEOMETRIC-SCOTT COUNTY SUBDIVISION AND DEVELOPMENT REGULATIONS UNLESS OTHERWISE NOTED.

**OWNER** \_\_\_\_\_ **DATE** \_\_\_\_\_

**OWNER** \_\_\_\_\_ **DATE** \_\_\_\_\_

**MINOR SUBDIVISION PLAT**  
SCOTT COUNTY, KY.  
COMMUNITY OF STAMPING GROUND  
SEEBEE ROAD (KY 1688)  
OWNERS  
BOBBY & MINNIE THOMASON  
255 SEEBEE ROAD  
STAMPING GROUND, KY 40379

**PROPERTY SURVEYED LOCATED AT**  
255 SEEBEE ROAD  
STAMPING GROUND, KY 40379

**TITLE REFERENCE** DEED BOOK 157, PAGE 452

**COUNTY OF** SCOTT  
**ZONED** R-1A AND A-1  
**GIS PVA ID:** 057-00-015.000  
057-00-015.001

THIS PLAT OF SURVEY REPRESENTS A BOUNDARY SURVEY AND COMPLIES WITH 201 KAR 18150. PROPERTY LOCATED APPROXIMATELY 0.33 MILES EAST FROM THE INTERSECTION OF KY 227 LYING ON THE SOUTH SIDE OF SEEBEE ROAD.

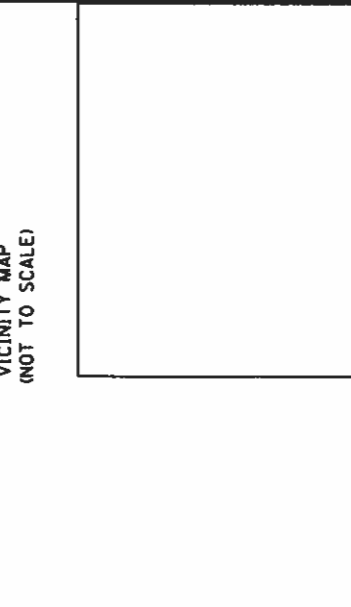
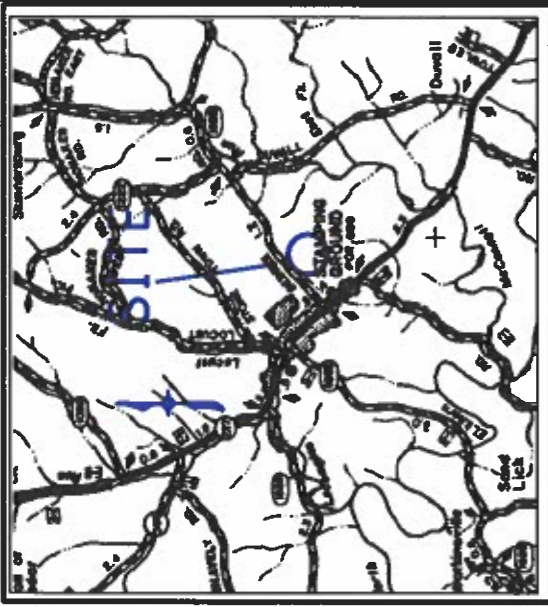
NO CEMETERY FOUND ON DIVISION SHOWN

**PLAT & SURVEY BY:**  
SEMONES LAND SURVEYING, PLLC  
PERMIT #833  
ROBERT T. SEMONES  
KY PLS 3141  
317 WEST FOURTH STREET  
FRANKFORT, KY, 40601  
502-319-5311  
rsemone@semonesllc.com  
FIELD COMPLETION DATE: 12/07/2022  
PLAT COMPLETION DATE: 12/07/2022  
REVISED PLAT DATE: 02/19/2023

**CLIENT**  
GREG HALE  
113 MAN O WAR COURT  
GEORGETOWN, KY 40324  
859-509-7104

**EXCEPTIONS TO SURVEY**

THIS SURVEY IS SUBJECT TO ALL RIGHTS OF WAYS, EASEMENTS, CONVEYANCES AND RESTRICTIONS THAT TITLE EXAMINATION WOULD REVEAL. NO TITLE EXAMINATION PROVIDED TO THE SURVEYOR FOR THIS SURVEY.



**STATEMENT ON PRECISION & MEASUREMENTS**

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**REFERENCE BEARING**

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**OWNER** \_\_\_\_\_ **DATE** \_\_\_\_\_

**OWNER** \_\_\_\_\_ **DATE** \_\_\_\_\_

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NO CEMETERY FOUND ON DIVISION SHOWN

**PLAT & SURVEY BY:**  
SEMONES LAND SURVEYING, PLLC  
PERMIT #833  
ROBERT T. SEMONES  
KY PLS 3141  
317 WEST FOURTH STREET  
FRANKFORT, KY, 40601  
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FIELD COMPLETION DATE: 12/07/2022  
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**TURFMASTERS QUALITY LANDSCAPES  
PRELIMINARY DEVELOPMENT PLAN**

**Staff Report to the Georgetown-Scott County Planning Commission  
MARCH 9, 2023**

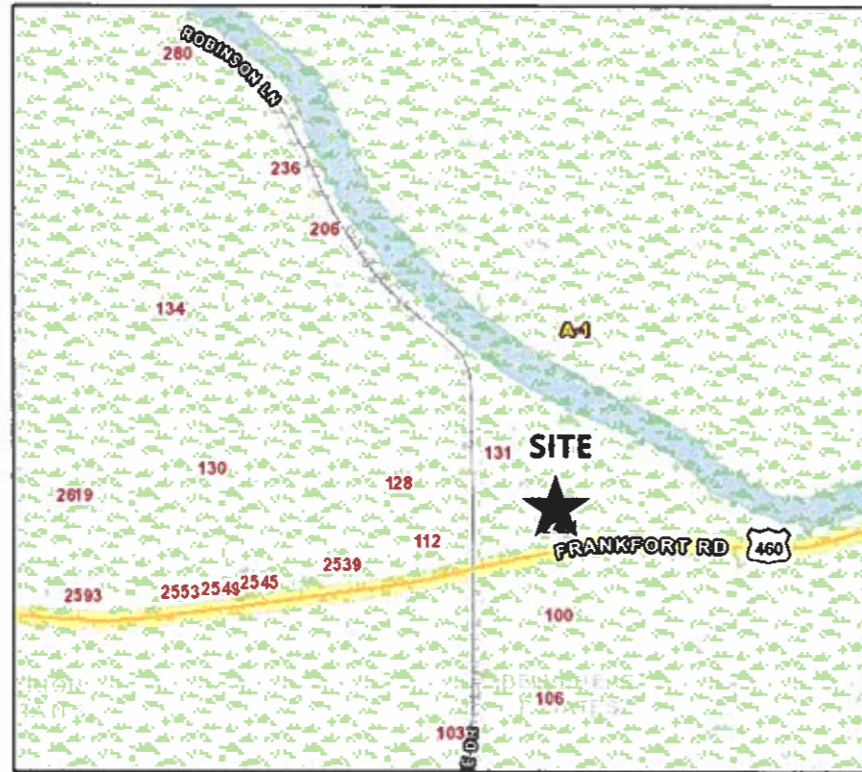
**FILE NUMBER:** PDP-2023-04

**PROPOSAL:** Preliminary Development Plan for gravel parking lot and plantings related to the operations of a landscaping business

**LOCATION:** 2461 Frankfort Road

**APPLICANT:** Adam Franklin, Turfmasters Quality Landscapes

**ENGINEER:** Tony Barrett, Barrett Partners



**STATISTICS:**

Zone	A-1 (Agricultural)
Surrounding Zone	A-1
Proposed Use	Commercial Landscape Business Operation
Site Acreage	10.12 acres
Building Area (Existing)	1,500 SF
Access	Frankfort Road [US-460]
Parking Required	1 per 1,000 SF sales area, 2 per every 3 employees, 1 per vehicle operated by business (12 spaces)
Parking Provided	12 spaces
Variances/Waivers	1. Use of gravel for vehicle parking

**BACKGROUND:**

The application before the Planning Commission is a Preliminary Development Plan to install a gravel parking lot and plantings related to the operations of a commercial landscaping business. The Project

Site is a 10.12-acre parcel that is zoned A-1 (Agricultural). The proposed use is a conditional use in the A-1 zoning district. An application to the Scott County Board of Adjustment was filed and approved at the December 1, 2022 meeting (ref. no. S-202-47). The application was approved with twelve (12) conditions, listed below:

1. This property is subject to all requirements of the *Georgetown – Scott County Zoning Ordinance and Subdivision and Development Regulations*.
2. The Applicant shall comply with all requirements of other federal, state, and local regulatory entities and shall provide copies to the Board of Adjustment of all permits issued on behalf of the Applicant as a result of this approval including, but not limited to, business-related certifications, licenses, regulatory permits, and any recertification when required.
3. The Applicant shall return to the Board **prior** to any changes in the approved conditions.
4. The Conditional Use Permit shall become null and void upon the sale or transfer of ownership of the Project Site.
5. The Applicant shall obtain a building permit from the Building Inspection Office prior to any construction where applicable.
6. The Conditional Use Permit does not allow the Applicant to operate a junkyard, defined (Section 2.1) as the "outdoor storage, display, or keeping of inoperative or inoperable machinery, whether or not it is capable of operation, or the accumulation of trash, waste material, or vegetation, in a manner which is unsightly, offensive or not in harmony with surrounding property."
7. The Applicant shall keep all materials, vehicles, and machinery a minimum of 50 feet from all property boundaries or inside a building.
8. The Applicant shall submit Preliminary and Final Development Plans for review and approval by the Planning Commission before any construction, grading, or business operation on the Project Site.
9. The Applicant shall keep all materials, vehicles, and machinery outside of floodplain areas.
10. Plantings and fencing denoting the floodplain shall be installed along the boundary of the floodplain line in accordance with the recommendation of the Commission Engineer.
11. Sight line boundaries shall be installed along the west property line for the diffusion of sight and sound, especially between the site operations and the adjoining residential uses. These plantings shall be verified by staff and be of satisfactory starting size and shape to ensure the most mature buffer be installed.
12. Site operation hours for normal business operations shall be from 8:00am to 4:30pm. Employees of the Applicant are only permitted to be on site during the stated window. The Applicant is able to utilize the property outside of the stated operating windows.

**PLAN REVIEW:**

**Setbacks and Building Standards:**

The development does not propose any new buildings on the property, instead opting to rehabilitate an existing 1,500 SF barn on the property. The total building coverage is 0.03%, well within the maximum permitted of 20% coverage.

**Access:**

There is one existing entrance off of Frankfort Road that will be used. The entrance will be improved and widened to 25 feet.

**Parking Spaces:**

Employee and business vehicle parking is proposed to be around the existing barn and outside of the floodplain. The *Subdivision and Development Regulations* and *Zoning Ordinance* establish parking minimums for development in Georgetown and Scott County. While there is no exact existing parking standard for a commercial landscape operation, the Applicant used the metric related to "Nursery or Greenhouse" operations; or 1 space per 1,000 SF of total sale area, 2 spaces for every 3 employees, and 1 space for each vehicle operated by the business. The Preliminary Development Plan shows the 12 required parking spaces, one of which is for handicap use.

The Applicant has requested a waiver to the materials of the parking lot. They request that the material be gravel as opposed to a concreted paved surface or blacktop, citing limited site activity and proximity to floodplain. Staff agrees with the request and recommends approval of the waiver as a paved lot would change the agricultural nature of the lot and business operation, and that the use of gravel will least impact water flow through the site.

**Stormwater:**

A Final Stormwater Management Plan must be submitted and approved by the Planning Commission Engineer prior to approval of the Final Development Plan.

**Utilities:**

The Preliminary Development Plan does not propose operations which would require water service. According to the Applicant, the barn may have some electrical service. If service is needed, the Applicant will need to arrange electric with Kentucky Utilities.

If any lighting is proposed, a photometric plan will need to be submitted and reviewed as part of the Final Development Plan review. Staff recommends that all exterior lighting should be designed to minimize off-site impacts.

**Land Use Buffers and Landscaping:***Property Perimeter Requirements; Section 6.12:*

The Project Site does not require any landscaping to meet the requirements of Section 6.12 since the property is zoned A-1 and abuts other A-1 property. However, Condition #10 and #11 of the Conditional Use Permit require plantings be along the floodplain and be installed along the west property line so as to reduce the impacts of site operations on surrounding property owners, all in accordance with the recommendations of Planning Commission Engineer. Staff concludes that the plantings shown satisfy these conditions, making the Preliminary Development Plan with the conditions set forth by the Conditional Use Permit.

*Vehicle Use Area Perimeter Requirements; Section 6.13:*

Row 2 of the table requires a 3 to 5-foot-wide (context dependent) landscape buffer between Vehicular Use Areas (VUAs) which adjoin a ROW. In such instances, plantings of 1 tree per 40 feet of linear boundary plus a 3-foot-tall average height continuous planting, hedge, fence, earth mound, wall or decrease in elevation. The Preliminary Development Plan shows sufficient plantings and satisfies this requirement.

*Interior Landscaping for Vehicle Use Areas; Section 6.22:*



An open vehicular use area which are 6,000 SF or greater in area are required to install Interior Landscape Areas (ILAs). For each 100-sq. ft., or fraction thereof, of vehicular use area, ten (10) sq. ft. of landscaped area shall be provided in addition to the required perimeter landscaping and for every 250 SF of ILA, one tree shall be planted. The Preliminary Development Plan shows 27,867 SF of VUA; therefore 2,787 SF ILA is required and 12 ILA trees. The Applicant proposes 2,795 SF of ILA and 14 trees, some trees of which are existing on site and will remain. The Preliminary Development Plan satisfies all requirements for ILAs.

*Section 6.2215: Minimum Canopy Requirements*

Given the Project Site layout, a majority of the existing canopy is located across the Elkhorn Creek but has been credited as preserved tree canopy. The Applicant proposes retention of 156,967 SF of tree canopy, or 35% of total site area. In addition, the Applicant proposes the installation of 27,000 SF of tree canopy as a result from the required property perimeter landscaping, VUA perimeter landscaping, and ILA landscaping. In total, the Project Site is proposed to have 183,967 SF of tree canopy, or 41% of the total site area. The Preliminary Development Plan greatly exceeds the minimum requirements for tree canopy and has been found to be in compliance with the requirements set forth.

**RECOMMENDATION:**

Staff recommends **Approval** of the Preliminary Development Plan for the commercial landscape business operations. Should the Planning Commission approve the application, staff recommends the following conditions of approval:

Variances/Waivers:

1. Waiver for the installation of a gravel parking lot.

Conditions of Approval:

1. All applicable requirements of the *Zoning Ordinance* and *Subdivision & Development Regulations*.
2. Any revisions or amendments to the approved Preliminary Development Plan shall be reviewed and approved by the Planning Commission staff (minor) or by the Planning Commission (major).
3. A Final Stormwater Management Plan must be submitted and approved by the Planning Commission Engineer prior to approval of the Final Development Plan. Development must meet all requirements of the Georgetown Stormwater Manual.
4. Prior to (as part of) the Final Development Plan approval, the applicant shall provide the Planning Commission staff (GIS division) with a digital copy of the approved plan.
5. The Final Development Plan shall comply with all stormwater management requirements.
6. Prior to any construction or grading, a Final Development Plan, including all required construction plans, shall be approved by the Planning Commission staff and the applicant shall schedule a Pre-Construction Meeting with the Planning Commission Engineering Department to review construction policies and to establish inspection schedules. This includes a Grading Permit with fee and a Land Disturbance Permit with erosion control surety.
7. The Final Development Plan shall have a specie specific Landscaping Plan in compliance with the *Landscaping & Land Use Buffers Ordinance*.
8. This Preliminary Development Plan approval is valid for two years, subject to the requirements of Article 406 section A of the Subdivision and Development Regulations.



VICINITY MAP, N.T.S.

- NOTES:
- THE BOARD OF ADJUSTMENT APPROVED A CONDITIONAL USE PERMIT FOR A COMMERCIAL LANDSCAPE OPERATION, INCLUDING STORMWATER ORGANIZING AND OPERATIONS OF A LANDSCAPE SERVICE, AT 246 FRANKFORT ROAD ON DECEMBER 1, 2022, APPLICATION 8-2022-07.
  - SUBJECT PROPERTY IS NOT WITHIN THE ROYAL SPRING AQUIFER RECHARGE AREA. IF APPLICABLE, A TESTABLE BACKFLOW PREVENTER (BFP) WILL BE REQUIRED ON THE CUSTOMER SIDE OF THE WATER METER. BFP'S SHALL BE OWNED AND MAINTAINED BY THE PROPERTY OWNER AND TESTED YEARLY. PROPERTIES 10 ACRES OR GREATER ARE REQUIRED TO INSTALL A BFP.
  - THERE WILL BE NO STORAGE OF EQUIPMENT OR MATERIALS IN THE FLOODPLAIN AREA. DEVELOPMENT IMPROVEMENTS (GRAVEL) IN THE FLOODPLAIN WILL REQUIRE STATE AND LOCAL APPROVAL PRIOR TO INSTALLATION. THERE WILL BE NO INCREASE IN ELEVATION (FILL) TO THE AREA IN THE FLOODPLAIN. SOIL MUST BE REMOVED TO ACCOUNT FOR ADDED GRAVEL.
  - STORMWATER MANAGEMENT PLAN TO ADDRESS INCREASE IN IMPROVED RUNOFF AND MEASURES FOR WATER QUALITY AND GROUNDWATER RECHARGE ASSOCIATED WITH DEVELOPMENT IN ACCORDANCE WITH THE ADOPTED STORMWATER MANUAL WILL BE REQUIRED FOR THE FINAL DEVELOPMENT PLAN.

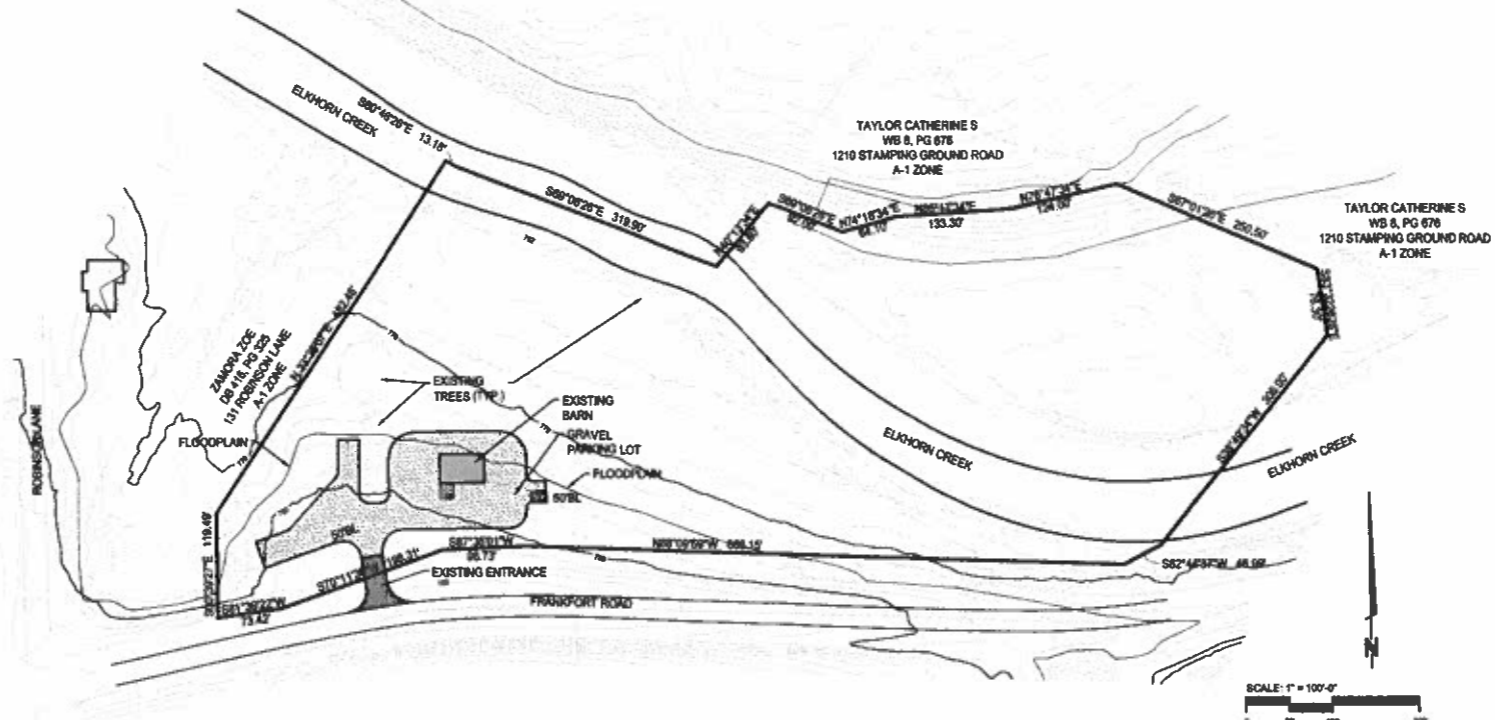
- BOARD OF ADJUSTMENT 8-2022-07 CONDITIONS:
- THIS PROPERTY IS SUBJECT TO ALL REQUIREMENTS OF THE GEORGETOWN-SCOTT COUNTY ZONING ORDINANCE AND SUBDIVISION AND DEVELOPMENT REGULATIONS.
  - THE APPLICANT SHALL COMPLY WITH ALL REQUIREMENTS OF OTHER FEDERAL, STATE, AND LOCAL REGULATORY ENTITIES AND SHALL PROVIDE COPIES TO THE BOARD OF ADJUSTMENT OF ALL PERMITS ISSUED ON BEHALF OF THE APPLICANT AS A RESULT OF THIS APPROVAL INCLUDING, BUT NOT LIMITED TO, BUSINESS-RELATED CERTIFICATIONS, LICENSES, REGULATORY PERMITS, AND ANY RE-CERTIFICATION WHEN REQUIRED.
  - THE APPLICANT SHALL RETURN TO THE BOARD PRIOR TO ANY CHANGES IN THE APPROVED CONDITIONS.
  - THE CONDITIONAL USE PERMIT SHALL BECOME NULL AND VOID UPON THE SALE OR TRANSFER OF OWNERSHIP OF THE PROJECT SITE.
  - THE APPLICANT SHALL OBTAIN A BUILDING PERMIT FROM THE BUILDING INSPECTION OFFICE PRIOR TO ANY CONSTRUCTION WHERE APPLICABLE.
  - THE CONDITIONAL USE PERMIT DOES NOT ALLOW THE APPLICANT TO OPERATE A JUNKYARD, DEFINED (SECTION 1) AS THE "OUTDOOR STORAGE, DISPLAY, OR KEEPING OF NONOPERATIVE OR NONOPERABLE MACHINERY, WHETHER OR NOT IT IS CAPABLE OF OPERATION, OR THE ACCUMULATION OF TRASH, WASTE MATERIAL, OR VEGETATION, IN A MANNER WHICH IS UNDESIRABLY OFFENSIVE OR NOT IN HARMONY WITH SURROUNDING PROPERTY."
  - THE APPLICANT SHALL KEEP ALL MATERIALS, VEHICLES, AND MACHINERY A MINIMUM OF 20 FEET FROM ALL PROPERTY BOUNDARIES OR BEHIND A BUILDING.
  - THE APPLICANT SHALL SUBMIT PRELIMINARY AND FINAL DEVELOPMENT PLANS FOR REVIEW AND APPROVAL BY THE PLANNING COMMISSION BEFORE ANY CONSTRUCTION, GRADING, OR BUSINESS OPERATION ON THE PROJECT SITE.
  - THE APPLICANT SHALL KEEP ALL MATERIALS, VEHICLES, AND MACHINERY OUTSIDE OF FLOODPLAIN AREAS.
  - PLANTINGS AND FENCING DENOTING THE FLOODPLAIN SHALL BE INSTALLED ALONG THE BOUNDARY OF THE FLOODPLAIN LINE IN ACCORDANCE WITH THE RECOMMENDATION OF THE COMMISSION ENGINEER.
  - SIGHT LINE BOUNDARIES SHALL BE INSTALLED ALONG THE WEST PROPERTY LINE FOR THE DIRECTION OF RIGHT AND BOUND, ESPECIALLY BETWEEN THE SITE OPERATIONS AND THE ADJOINING RESIDENTIAL USES. THESE PLANTINGS SHALL BE VEGEDED BY STAFF AND BE OF SATISFACTORY STARTING SIZE AND SHAPE TO ENSURE THE MOST MATURE BUFFER BE INSTALLED.
  - SITE OPERATION HOURS FOR NORMAL BUSINESS OPERATIONS SHALL BE FROM 8:00AM TO 4:30PM. EMPLOYEES OF THE APPLICANT ARE ONLY PERMITTED TO BE ON SITE DURING THE STATED WINDOW. THE APPLICANT IS ABLE TO UTILIZE THE PROPERTY OUTSIDE OF THE STATED OPERATING WINDOW.

INTERIOR LANDSCAPE AREA FOR VEHICULAR USE AREA	
VEHICULAR USE AREA	27,867 SF
REQUIRED	2,787 SF 10%
PROPOSED	2,795 SF 10.0%
INTERIOR LANDSCAPE AREA DETAILS	
A	1,500 SF
B	377 SF
C	396 SF
D	275 SF
E	247 SF
TOTAL	2,795 SF
* EXCEEDS 1,500 SF MAX INTERIOR AREA	

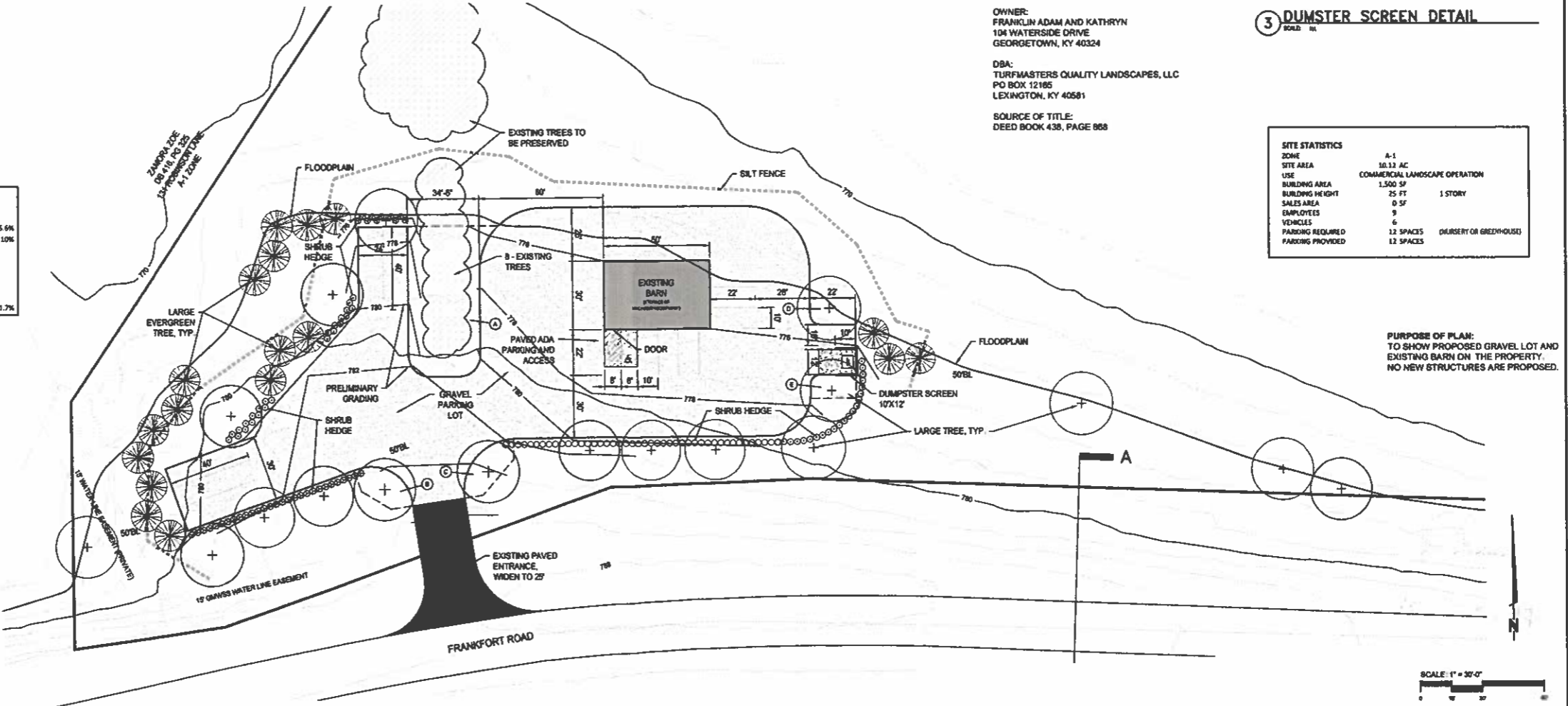
  

TREE CANOPY STATISTICS	
ZONE	A-1
SITE AREA	440,827 SF
PRESERVED CANOPY	156,967 SF 35.6%
CANOPY REQUIRED	44,083 SF 10%
PROPOSED ADDITIONAL CANOPY	
36 LARGE TREES @ 750 S.F.	27,000 SF
0 MEDIUM TREES @ 400 S.F.	- SF
0 SMALL TREES @ 100 S.F.	- SF
TOTAL PROPOSED CANOPY	27,000 SF
TOTAL TREE CANOPY	183,967 SF 41.7%

TREES REQUIRED	
INTERIOR VEHICULAR TREES	REQUIRED 14, PROPOSED* 14
PERIMETER TREES	8 10
ADDITIONAL TREES REQUIRED TO MEET TREE CANOPY REQUIREMENTS	0 0
* TREES MAY PROVIDE FOR DUPLICATE REQUIREMENTS AND MAY NOT EQUAL TREES PROVIDED	



1 PROPERTY PLAN  
SCALE: 1"=100'-0"



2 SITE PLAN DETAIL  
SCALE: 1"=20'-0"

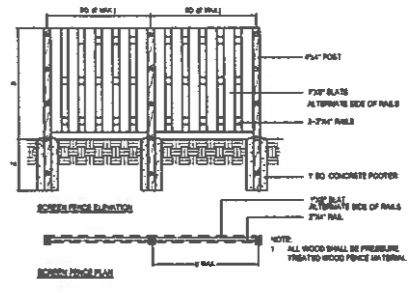
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I (WE) HEREBY CERTIFY THAT I (WE ARE) THE OWNER(S) OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I (WE) HEREBY ADOPT THIS PLAT/PLAN OF THE DEVELOPMENT WITH MY (OUR) FREE CONSENT. ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES, AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS, AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS SHOWN IN ACCORDANCE WITH THE GEORGETOWN-SCOTT COUNTY SUBDIVISION AND DEVELOPMENT REGULATIONS, UNLESS OTHERWISE NOTED.

- SITE SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THIS PLAN. ANY DEVIATION FROM THE PLAN, INCLUDING LANDSCAPING, SHALL FIRST BE APPROVED BY THE PLANNING DIRECTOR AND THE COMMISSION ENGINEER. MAJOR MODIFICATIONS OF THE PLAN SHALL FIRST BE APPROVED BY THE PLANNING COMMISSION.
- STORM DRAINAGE FACILITIES, INCLUDING RETENTION BASINS, SHALL BE MAINTAINED FOR PROPER FUNCTIONING FREE OF ANY DEBRIS, SILT, OR TRASH.
- A CERTIFICATE OF OCCUPANCY SHALL NOT BE ISSUED AND THE BUILDINGS SHALL NOT BE OCCUPIED UNTIL ALL SITE IMPROVEMENTS SHOWN ON THE FINAL DEVELOPMENT PLAN AND LISTED IN THESE CONDITIONS ARE EITHER INSTALLED, OR A BONDED OR IRREVOCABLE LETTER OF CREDIT IS SUBMITTED TO THE PLANNING DIRECTOR FOR 125% OF THE COST OF THE WORK REMAINING TO BE DONE, AS SUBSTANTIATED BY COST ESTIMATES APPROVED BY THE PLANNING DIRECTOR. LANDSCAPING MUST BE CERTIFIED AS COMPLETE BY THE LANDSCAPE INSPECTOR OR BONDED AS DESCRIBED ABOVE.
- THERE SHALL BE NO GRADING OR CONSTRUCTION UNTIL THE FINAL DEVELOPMENT PLAN HAS BEEN APPROVED AND SIGNED BY THE PLANNING COMMISSION. ACCEPTANCE AS CONSTRUCTION DRAWINGS ARE APPROVED BY THE PLANNING DIRECTOR FOR SITE DEVELOPMENT. THE BUILDING PERMIT SHALL NOT BE ISSUED UNTIL THE FINAL DEVELOPMENT PLAN IS APPROVED AND SIGNED.

OWNER \_\_\_\_\_ DATE \_\_\_\_\_

CERTIFICATION OF PRELIMINARY DEVELOPMENT PLAN APPROVAL:  
I HEREBY CERTIFY THAT THE PRELIMINARY DEVELOPMENT PLAN SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION AND DEVELOPMENT REGULATIONS FOR GEORGETOWN AND SCOTT COUNTY, KENTUCKY, WITH THE EXCEPTIONS OF SUCH VARIANCES, IF ANY, AS AFORESAID IN THE MINUTES OF THE PLANNING COMMISSION. THIS APPROVAL DOES NOT CONSTITUTE APPROVAL TO BEGIN CONSTRUCTION OR OBTAIN A BUILDING PERMIT.

CHAIRMAN, GEORGETOWN-SCOTT COUNTY PLANNING COM. \_\_\_\_\_ DATE \_\_\_\_\_



3 DUMSTER SCREEN DETAIL  
SCALE: 1/8\"/>

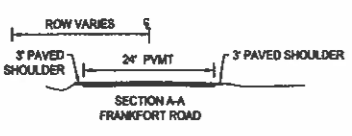
OWNER:  
FRANKLIN ADAM AND KATHRYN  
104 WATERSIDE DRIVE  
GEORGETOWN, KY 40324

DBA:  
TURFMASTERS QUALITY LANDSCAPES, LLC  
PO BOX 12185  
LEXINGTON, KY 40581

SOURCE OF TITLE:  
DEED BOOK 438, PAGE 868

SITE STATISTICS	
ZONE	A-1
SITE AREA	16.12 AC
USE	COMMERCIAL LANDSCAPE OPERATION
BUILDING AREA	1,500 SF
BUILDING HEIGHT	25 FT 1 STORY
SALES AREA	0 SF
EMPLOYEES	9
VEHICLES	6
PARKING REQUIRED	12 SPACES (DURSERY OR GREENHOUSE)
PARKING PROVIDED	12 SPACES

PURPOSE OF PLAN:  
TO SHOW PROPOSED GRAVEL LOT AND EXISTING BARN ON THE PROPERTY. NO NEW STRUCTURES ARE PROPOSED.



Date: February 1, 2023

**B** Barrett Partners, Inc.  
PLANNING AND LANDSCAPE ARCHITECTURE  
558 E. Ludlow Avenue, Suite 317 • Lexington, Kentucky 40502  
859-391-0897  
www.barrettpartnersinc.com

TURFMASTERS QUALITY LANDSCAPES

2461 Frankfort Road  
Scott County Kentucky

Revised: azazzaz, TRC comments  
Preliminary Development Plan

DP

PDP-2023-04

**D-CRANE  
PRELIMINARY DEVELOPMENT PLAN**

**Staff Report to the Georgetown-Scott County Planning Commission  
March 9, 2023**

**FILE NUMBER:** PDP-2023-06

**PROPOSAL:** Preliminary Development Plan for an 10,000 SF maintenance/office building and a 64,500 SF gravel storage area.

**LOCATION:** 224 Sims Pike

**OWNER:** Ed Moore

**CONSULTANT:** Steve Baker, PE  
Midwest Engineering, Inc.



**STATISTICS:**

Zone	I-1 (Light Industrial)
Surrounding Zone(s)	A-1 (across RoW to the south)
Site Acreage (Net)	10 Acres
Building Height	max feet
Proposed Building Size	10,000 Square Feet
Proposed Parking	9 spaces (1 ADA Accessible)
Truck/Crane Parking	approx. 50,500 Square Feet (graveled) approx. 15,000 sf concrete
Access	Sims Pike (County-maintained)
Variations/Waivers	1. Waiver to allow the use of gravel for crane storage and limited truck parking. 2. Variance to reduce the number of interior VUA trees required from 6 to 2.

**BACKGROUND:**  
The Applicant is seeking approval of a Preliminary Development Plan to construct an 10,000 building for office and vehicle maintenance uses and a gravel yard for crane storage. The proposed use is permitted in the I-1 zoning district.

**PLAN REVIEW:**  
The Project Site is an approximately 300' wide by 1400' deep, 10-acre lot on the west side of Sims Pike approximately ¼ mile north of Old Delaplain Road . The Development Plan shows a proposed 100' x 100' building, setback 200' from the edge of the right-of-way from Sims Road, with a driveway north of

the building and a gravel storage area to the east, south and west of the building. A stormwater detention basin is proposed in the rear yard, west of the proposed building. The proposed building will conform to the setback & building height requirements in the *Zoning Ordinance*.

**Access:**

Vehicular access to the site is proposed from Sims Pike. The Development Plan shows a 50 ft. wide concrete driveway coming off Sims Pike providing the primary access to the building and employee parking lot on the north side of the building. The plan also shows an adequate paved employee parking area. The gravel parking around the building will require a variance.

The development plan indicates Sims Pike has a right-of-way width of 50 feet along the property's frontage. This should be sufficient width to accommodate upgrades to Sims Pike in the future. Sims Pike currently does not meet industrial road standards in terms of pavement width and design. The business proposed is a crane rental business which provides truck cranes for local job sites. These cranes will be parked on property when not on a job site. Staff is concerned about the adequacy of Sims Pike to support the movement of truck cranes.

The Planning Commission has in the past permitted applicants to make incremental improvements to public roads. The widenings required have been limited to the applicant's property road frontage, when the public road serving as access to the property was inadequate and not scheduled for public improvement and the property being developed was already zoned properly for its proposed use.

Sims Pike is currently 20' pavement width at the property entrance according to the applicant. Minimum industrial road widths are 24' pavement. In this case, based on staff recommendation, the applicant is proposing to widen Sims Pike with an additional 2' of pavement (12' width from centerline) with an additional 2' structural shoulder. If the Planning Commission deems this inadequate, the Planning Commission may consider denial of the Preliminary Development Plan due to inadequacy of infrastructure.

The project entrance is ¼ mile north of Cherry Blossom Way. There is one property owner on the west side of Sims Pike between the subject property and Delaplain Road/Cherry Blossom Way. The property owner operates a trucking business, Online Transport. The Planning Commission recently denied a Preliminary Development Plan for Online Transport. It is staffs understanding that Online Transport will be submitting a zone change request for their property in the coming months. This may offer an opportunity to widen the west side of Sims Pike. However, the timing and details of that future application are uncertain at this time.

**Stormwater Management / Grading:**

As of the writing of the staff report, a revised preliminary grading plan has not been submitted to staff for review. Planning Commission staff has spoken with the Applicant's consultant and there is agreement that any grading of the Project Site would need to avoid adverse impacts on Simms Pike.

**Landscaping:**

*Section 6.12: Property Perimeter Requirements*

Row 9 of the table requires a 15 ft. wide landscaping buffer between I-1 property and any agriculturally zoned property. This buffer area is required to have 1 tree per 40 feet of linear boundary plus a

continuous row of 6 ft. hedge or a 6 ft. fence, wall, or earth mound. The Applicant is the current owner of the adjoining A-1 zoned properties to the north. To the west is railroad ROW and to the south is A-1 zoned but industrial used property. The owner of these adjoining properties could waive this screening requirement. Staff would support a waiver to the perimeter screening.

*Section 6.13: Vehicular Use Area Perimeter Requirements*

The Preliminary Development Plan meets the requirements for VUA perimeter landscaping. Staff has recommended to the Applicant clearing out some of the undergrowth along the road right of way and providing a continuous 3 ft. tall shrub row. Staff will review the Final Development Plan to ensure compliance with these requirements.

*Section 6.22: Interior Landscaping for Vehicular Use Areas*

The Applicant is meeting the requirement for the amount of VUA landscaped area but is requesting a variance to reduce the number of required trees. The Applicant requests a reduction in the number of trees required from 6 to 2. The number of trees required is inflated by the long wide driveway needed for this site. Staff supports this variance.

*Section 6.2215: Minimum Canopy Requirements*

The Preliminary Development Plan meets the requirements for canopy coverage based on the existing canopy in areas which will remain undisturbed, primarily on the west side of the site along the railroad.

## **RECOMMENDATION:**

Staff recommends **Approval** of the Preliminary Development Plan based on the property being zoned I-1 (Light Industrial) and conditions attached. Staff recommends including the following waivers/variances and conditions of approval:

Waiver/Variance:

1. Waiver to allow the use of gravel for crane storage and limited truck parking.
2. Variance to reduce the number of interior VUA trees required from 6 to 2.
3. Waiver of the perimeter buffer between I-1 and A-1 property.

Conditions of Approval:

1. All applicable requirements of the *Zoning Ordinance* and *Subdivision & Development Regulations*.
2. Any revisions or amendments to the approved Preliminary Development Plan shall be reviewed and approved by the Planning Commission staff (minor) or by the Planning Commission (major).
3. Applicant shall widen Sims Pike to a minimum of 12' pavement from centerline with a 2' structural shoulder.
4. Applicant shall limit crane truck traffic from entering or exiting the site during typical school bus transportation hours.
5. Prior to (as part of) the Final Development Plan approval, the applicant shall provide the Planning Commission staff (GIS division) with a digital copy of the approved plan.
6. Prior to any construction or grading, a Final Development Plan, including all required construction plans, shall be approved by the Planning Commission staff and the applicant shall schedule a Pre-Construction Meeting with the Planning Commission Engineering Department to

review construction policies and to establish inspection schedules. This includes a Grading Permit with fee and a Land Disturbance Permit with erosion control surety.

7. The Final Development Plan shall comply with all stormwater management requirements according to the current Stormwater Manual including a post-construction stormwater management BMP O&M agreement.
8. The Final Development Plan shall comply with all requirements of the guidelines in the Dry Run Watershed BMP Study that are applicable to this site.
9. This Preliminary Development Plan approval is valid for two years, subject to the requirements of Article 406 section A of the *Subdivision and Development Regulations*.
10. The Final Development Plan shall have a specie specific Landscaping Plan in compliance with the *Landscaping & Land Use Buffers Ordinance*.

SITE STATISTICS		
	EXISTING	PROPOSED
ZONE	I-1	I-1
AREA	10.00 AC.	10.00 AC.
TOTAL BUILDING AREA (SF)	0	10,000 SF
LOT COVERAGE	0	2.3%
TOTAL PARKING PROVIDED	0	9
HANDICAP PARKING PROV.	0	1
VEHICULAR USE AREA (V.U.A.)	0	64,500 S.F.
INTERIOR U/S REQUIRED		6,450 S.F.
INTERIOR U/S PROPOSED		7,370 S.F.

**PROPERTY OWNER**  
 224 SIMS PIKE, GEORGETOWN, KY 40324  
 EDWARD W. MOORE, JR.  
 100 HENTON PIKE  
 GEORGETOWN, KY 40324

**SOURCE OF TITLE**  
 DB / PAGE 392 / 567  
 CABINET / SLIDE

**GENERAL NOTES:**

- 1 THIS DEVELOPMENT PLAN MAY BE AMENDED WITH THE APPROVAL OF THE PLANNING COMMISSION
- 2 A DIGITAL SUBMITTAL IS REQUIRED, AND WILL BE PROVIDED AT THE TIME OF FINAL DEVELOPMENT PLAN
- 3 ALL AREAS THAT HAVE BEEN DISTURBED BY GRADING SHALL HAVE TEMPORARY VEGETATIVE COVER PROVIDED. SUCH COVER WILL CONSIST OF ANNUAL GRASSES OR SMALL GRAINS. SLOPES EXCEEDING 4:1 SHALL HAVE ADDITIONAL PROTECTION OF ADEQUATE MULCHING OR SOD IN ORDER TO PREVENT EROSION
- 4 THIS PRELIMINARY PLAN SHALL NOT BE USED AS A BASIS FOR SALE OF THIS PROPERTY. ANY SALE OF LAND SHALL BE BASED ON A RECORDED FINAL SUBDIVISION PLAT
- 5 THE PURPOSE OF THIS PLAN IS TO SHOW BUILDINGS, PARKING, AND ACCESS ON THIS PROPERTY.
- 6 GROUNDWATER RECHARGE, STORM WATER QUALITY, AND DETENTION WILL BE ADDRESSED AT THE FINAL DEVELOPMENT STAGE.

**LEGEND:**

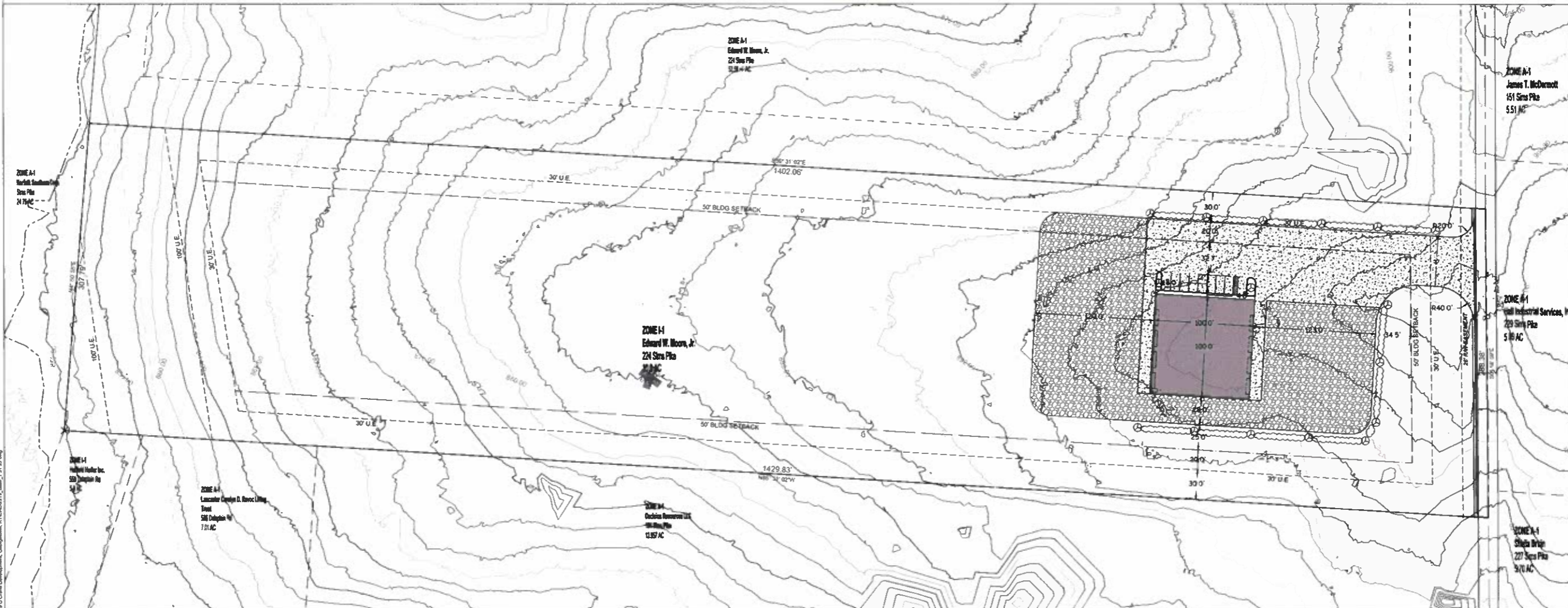
- PROF. V.U.A. INTERIOR TREES SHALL BE AMUR MAPLE, FLOWERING DOGWOOD OR OTHER ACCEPTABLE SPECIES 1-3/4" CAL. DBH
- PROPOSED HEDGE (EUCHYRIS ALATA) COMPACT BURNING BUSH - 2' MIN @ PLANTING PLANT AT 30" OC. MAINTAIN AT 7' MIN HEIGHT
- CONCRETE PVMT AREA
- GRAVEL AREA
- ASPHALT PVMT (ROAD WIDENING)



**VICINITY MAP**  
N.T.S.

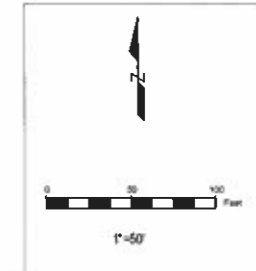
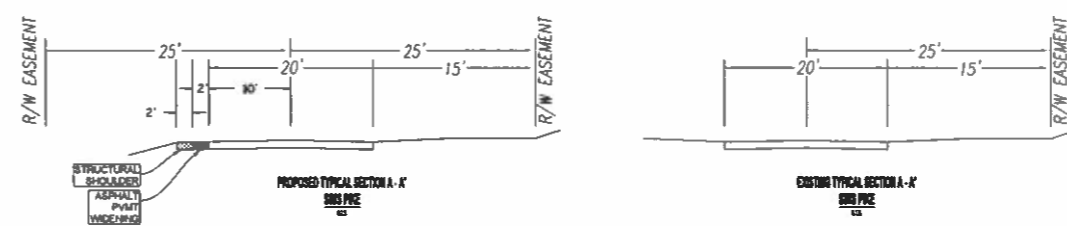
**VARIANCE REQUEST:**

- 1 I-1 TO A-1 SCREENING NOT REQUIRED ON THIS DEVELOPMENT.



**CERTIFICATION OF PRELIMINARY PLAN APPROVAL**  
 I hereby certify that the preliminary development plan shown hereon has been found to comply with the Subdivision and Development Regulations for Georgetown and Scott County, Kentucky, with the exception of such variances, if any, as are noted on the reverse side of this plan. This approval does not constitute approval to begin construction or obtain a building permit.  
 \_\_\_\_\_  
 Chairman, Georgetown-Scott County Planning Comm.

**CERTIFICATION OF OWNERSHIP AND DEDICATION**  
 I (we) hereby certify that I am (we are) the owner(s) of the property shown and described hereon and that I (we) hereby adopt this preliminary plan of the development with my (our) free consent, establish the minimum building restriction lines, and dedicate all streets, alleys, walks, parks, and other open spaces to public or private use as shown. In accordance with the Georgetown-Scott County Subdivision and Development Regulations, unless otherwise noted.  
 \_\_\_\_\_ (date), 20\_\_\_\_  
 \_\_\_\_\_ (Owner(s))  
 \_\_\_\_\_ (Owner(s))



**D CRANE DEVELOPMENT**  
 224 SIMS PIKE  
 GEORGETOWN, KY 40324  
**PRELIMINARY DEVELOPMENT PLAN**



**FINLEY PROPERTY  
REDWOOD APARTMENT HOMES  
PRELIMINARY SUBDIVISION PLAT**

**Staff Report to the Georgetown-Scott County Planning Commission  
March 9, 2023**

**FILE NUMBER:** PSP-2023-07

**PROPOSAL:** Preliminary Subdivision Plat approval to subdivide into individual lots a 142-unit apartment home development.

**LOCATION:** 1202 Old Oxford Road

**APPLICANT:** Henry Finley Jr.

**CONSULTANT:** Brent Combs  
Thoroughbred Engineering



**STATISTICS:**

Current Zone	R-2 (Medium Density Residential)
Surrounding Zone(s)	A-1, R-2, & B-4
Site Acreage	Total: 18.76 acres;
Concept Residential	142 Residential Units (3 Bedroom Units: 32; 2 Bedroom Units: 110)
Net Density	7.57 units/net acre
Access	Old Oxford Road

**BACKGROUND:**

The Project Site is 18.76-acres in size, zoned R-2 (Medium-Density Residential). It is a portion of a larger 28.7-acre tract on the east side of Old Oxford Road. The Project Site is north of the Bluegrass RV Storage site and west of the Rocky Creek neighborhood. The Project Site was recently rezoned and annexed into the City of Georgetown.

**Preliminary Development Plan Summary:**

The Preliminary Development Plan for the residential portion of a split zoning site was approved in June 2022. The commercially zoned portion is shown as two lots. Additional Development Plan approval will be required for the commercial lots shown prior to development of the commercial area.



The approved Development Plan showed proposed improvements along Old Oxford Road to account for turning lanes to allow traffic to safely enter the development. The improvements to Old Oxford should bring the roadway in the area of the development up to an urban standard consistent with the proposed uses. With those roadway improvements, the typical section for Old Oxford Road should be 12 feet wide lanes to match urban standards with curb, gutter, and sidewalk.

The main ingress/egress road thru the commercially zoned section of this development is proposed to be a dedicated public street which will split and be extended to the north to align with a future Magnolia Drive extension thru the Charles Finley property if and when that property develops. The proposed public roadway will have two entrance intersections to the residential section. No parking will be allowed on the public street commercial section. Sidewalks on both side of the street are required. Sidewalks along the Old Oxford Road frontage are also required.

State Transportation (KYTC) has the widening and improvement of Connector Road, a state-maintained roadway, in the six-year State Transportation Plan and the roadway redesign portion of the project is funded and currently underway. The applicant should coordinate its required improvements with the planned state Connector Road project.

#### **Current Preliminary Subdivision Plat Request:**

The Planning Commission is reviewing a Preliminary Subdivision Plat application to request approval to subdivide into individual lots the residential portion of the Development after the units are constructed.

The Preliminary Development Plan showed an apartment home or townhouse development arranged along a grid pattern of private streets. Section 1000 (P)(7) of the *Subdivision & Development Regulations* requires multi-family developments to provide an additional entrance intersection for more than 100 units and single-family developments of greater than 200 units. The Development Plan shows two entrances to the yet to be constructed public street. The public street thru the Commercially zoned area will need to be constructed and dedicated concurrent with the construction of the residential development.

The approved Preliminary Development Plan showed sidewalks on only one side of the street not both sides of all private and public streets in accordance with Section 1000 (G). A variance was granted for sidewalks on one side of the private streets as part of Preliminary Development Plan approval. Unsubdivided Developments typically have driveways and parking lots and sidewalks are allowed to be where they make the most sense to provide safe pedestrian circulation. However, if these units will be on subdivided lots, staff would like to see the private streets in private right-of-way, separate from the lots, with sidewalks on both sides of the street.

The approved Preliminary Development Plan shows 142 dwelling units in multiple buildings which consist of attached single-story apartment homes of 4-8 units each. Each unit is proposed to have a two-car garage with a driveway/parking pad that will accommodate two-cars. The minimum depth shown for the parking pads are 23' from the edge of garage to edge of sidewalk. As previously noted, the sidewalks are shown on only one side of the street and the sidewalks pass over multiple driveways at the curb-line, which is not ideal and does not seem feasible for ADA compliance. Construction Plans when approved

will need to be compliant with ADA requirements. Staff is not in favor of the street and lot arrangement as shown.

The proposed internal streets will be private, within access easements. Fifty-nine (59) overflow parking spaces are shown spread throughout the site for guest or overflow parking. Dumpster pads are spread around the site for trash service. With the proposed creation of individual lots any shared facilities will need to be in easements within the individual lots to allow for shared use. Lot boundary fences may need to be banned or adequate access provided to all shared facilities. Streets should be within private right-of-way not on individual lots.

#### Subdivision Plat Concerns:

This project was originally presented as an apartment home project not a townhome project. The proposal was to create an apartment rental home community where renters would have some of the conveniences and amenities of a traditional home, i.e. attached garages and single-story floorplans, but the overall project, including the future maintenance of the landscaping, open spaces, streets, sidewalks, mail kiosks and dumpsters as well as the stormwater infrastructure would be the responsibility of one owner.

Staff's primary concern with switching to a individual owned unit "townhome" scheme is the complexity of future maintenance of the project due to the amount of private infrastructure proposed. A particular concern is that the stormwater detention will be underground with piping and chambers in the side and rear yards of many of the units. 142 individual property owners, will be responsible for future maintenance of the streets and all the infrastructure.

#### Private Streets

The proposed private streets are shown in easements on the individual lots. Staff believes the streets should be within private right-of-way separated from the individual lots. Staff does not support the variance for sidewalks on one side of the street for a subdivided development of individual lots.

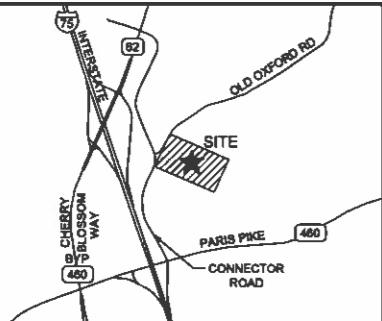
#### Stormwater

The Preliminary Development Plan does not show the location of the proposed underground stormwater chambers. Staff is still reviewing construction plans and has yet to approve the Final Development Plan for the project. Engineering still has concerns with the feasibility of the stormwater plan for the site. Due to the compact nature of this development, the stormwater design and maintenance should be the responsibility of a qualified professional or entity.

In summary, staff is concerned that this project, due to its compact design and underground detention, could be a future maintenance nightmare for individual homeowners. The original application was intended to be unsubdivided and owned and controlled by a single entity. If this property is to be subdivided, planning staff would recommend the private street right-of-way be separated from the lots and that sidewalks be included on both sides of the private streets. However, since there are also unresolved engineering concerns related to the grading and stormwater plans, staff recommends delaying any decision on the subdivision of the property until a Final Development Plan is approved for the property.

#### **RECOMMENDATION:**

Based on the findings above, staff recommends postponement of consideration of allowing the subdivision of this development into individual lots until the Final Development Plan is approved.



VICINITY MAP  
SCALE: 1" = 2000'

**SITE DATA**  
**PROPERTY INFORMATION**  
 STREET ADDRESS: 1202 OLD OXFORD ROAD, GEORGETOWN, KY  
 LOT SIZE: 18.76 AC (817,185 S.F.)

**OWNER/DEVELOPER**  
 UNITED PROPERTY HOLDINGS, ET AL.  
 351 UNITED COURT  
 LEXINGTON, KY 40508

**DESIGN INFORMATION**  
 PROPOSED USE: TOWNHOMES (142 UNITS)  
 PROPOSED BUILDING HEIGHT: 1 STORY EACH BUILDING  
 MAX BUILDING LOT COVERAGE: 40%  
 PROPOSED BUILDING LOT COVERAGE: 257,229 S.F. / 817,185 S.F. = 0.315 (31.5%)  
 ALLOWABLE DENSITY: 12 UNITS PER NET ACRE  
 PROPOSED DENSITY: 142 UNITS / 18.76 AC = 7.57 UNITS PER AC

**ZONING INFORMATION**  
 ZONING CLASSIFICATION: R-2 (MEDIUM DENSITY RESIDENTIAL)

**BUILDING SETBACKS:**  
 FRONT: 30'  
 SIDE: 7.5'  
 REAR: 25'

**PROPOSED FRONT: 20' @ FROM ACCESS EASEMENT**  
**PROPOSED SIDE: 0/7.5'**  
**PROPOSED REAR: 20/25'**

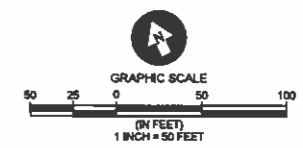
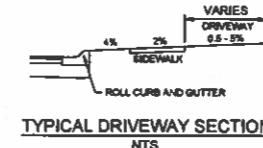
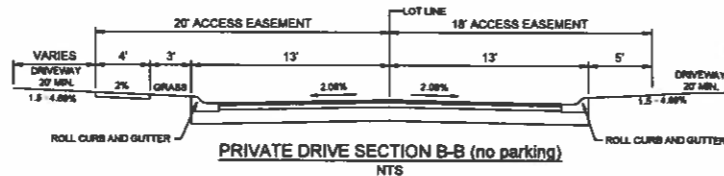
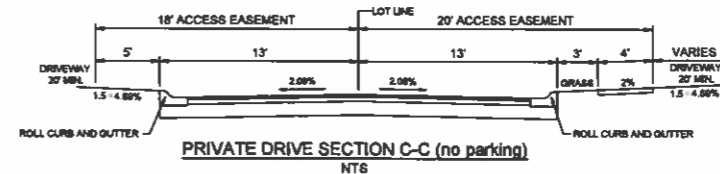
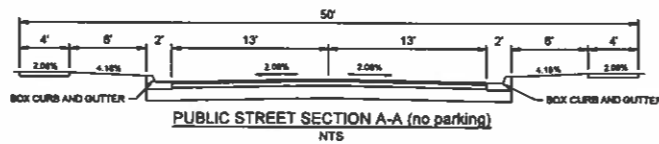
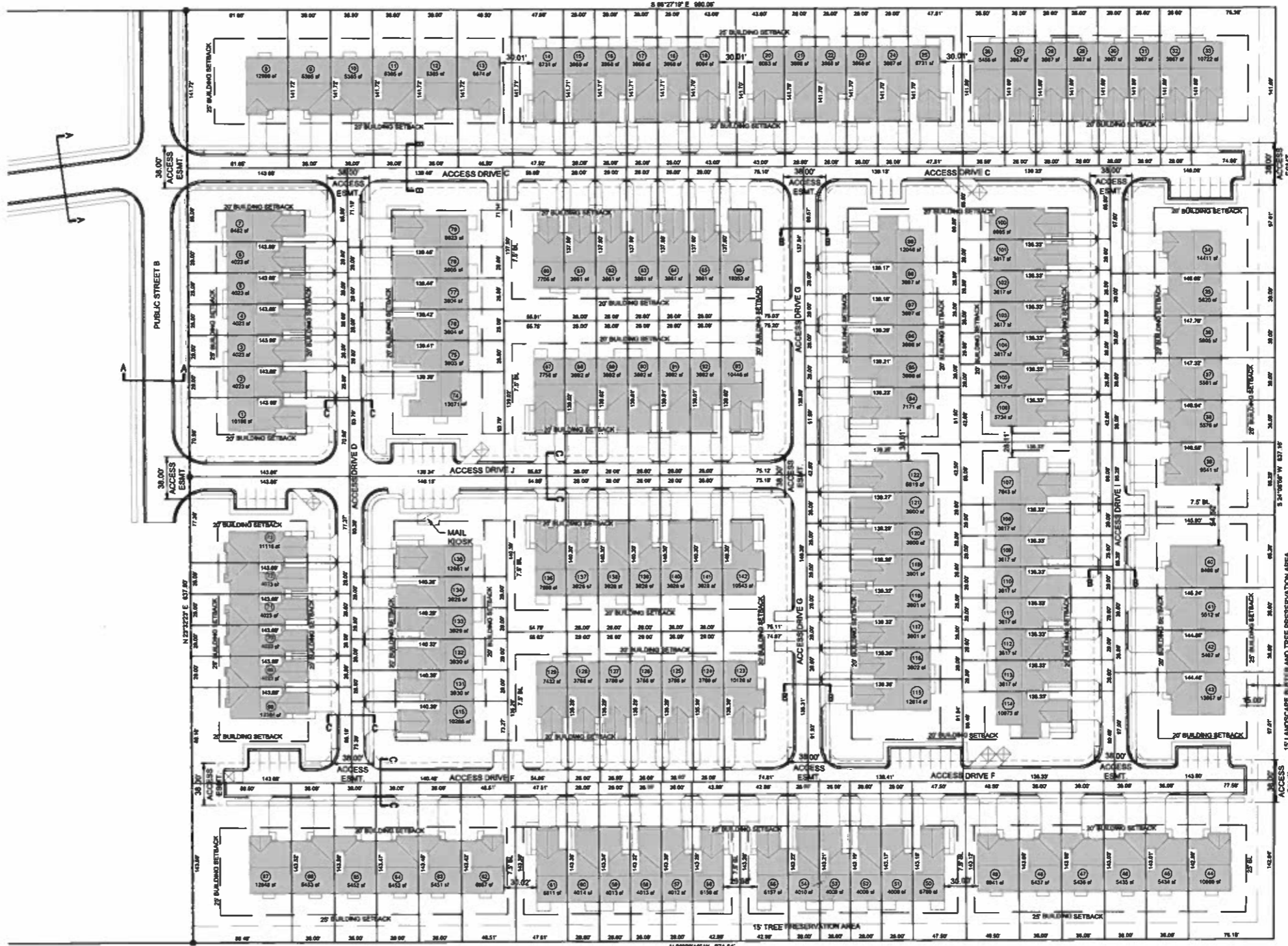
**PARKING REQUIREMENT:** 2.5 SPACES FOR EACH TWO OR MORE BEDROOM UNITS  
**PARKING PROVIDED:** 2.5 X 142 UNITS = 355 SPACES  
 TOTAL PARKING PROVIDED: 142 UNITS @ 2 GARAGE SPACES + 1 Q DRIVEWAY SPACES + 58 OFF-STREET SITE SPACES = 465 SPACES

**NOTE:** HATCHING INDICATES BUILDING FOOTPRINTS. EVERYTHING NOT HATCHED IS DESIGNATED COMMON SPACE, AND MAINTAINED BY SEPARATE ENTITY FROM LOT OWNERS.

**PREVIOUS APPROVALS:**  
 ZMA 2021-29  
 PCP 2023-21

**SURVEY INFORMATION**  
 THE EASING INFORMATION SHOWN ON THIS PRELIMINARY DEVELOPMENT PLAN IS FROM A SURVEY PERFORMED BY THOROUGHBRED OF LEXINGTON, KY.

**FLOOD INFORMATION**  
 THIS PROPERTY LIES WITHIN ZONE "C" (AREA OF MINIMAL FLOOD HAZARD) AS DESIGNATED ON CURRENT FEDERAL EMERGENCY MANAGEMENT AGENCY MAP NO. 21000C0101, WITH AN EFFECTIVE DATE OF DECEMBER 21, 2017.



P.O. BOX 481 LEXINGTON, KY 40588  
 (859) 785-0383  
 ARCHITECTURE, CIVIL DESIGN, LAND SURVEYING,  
 GEOTECHNICAL ENGINEERING, DRILLING SERVICES,  
 IBC SPECIAL INSPECTIONS, MATERIAL TESTING,  
 CM-CEI-CONSTRUCTION SERVICES



**PRELIMINARY SUBDIVISION PLAN**  
**FINLEY PROPERTY**  
**REDWOOD TOWNHOMES**  
 OLD OXFORD ROAD, GEORGETOWN, KENTUCKY

PROJECT NO:	210189	CREATED BY:	PDC
DATE:	02/01/2023	REVISION BY:	BC
ISSUED FOR REVIEW			
DATE:		REVISION:	

## **Text Amendment – RV Campgrounds**

### **Section 2.1 - Definitions**

Agricultural Use, Recreational: An outdoor recreational use, i.e., fishing, boating, hunting, riding, etc., involving a tract of real estate in excess of 250 acres which incorporates part-time residential use, e.g., hunting or fishing lodges which are not primary dwellings for the occupants. This also includes lots of 20 acres or larger to be developed as a RV Campground (as defined in this ordinance).

RV Campground (also: Mobile Home Camp, ~~also~~ Trailer Camp, and Overnight Camping Area): An area designed exclusively for the accommodation of overnight and other temporary lodging where the traveler or transient usually provides his own accommodations (in a travel trailer, van, camper, or other mobile vehicle, etc.). This definition does not include camping areas designed exclusively for tent or other primitive camping.

### **Section 2.51.1**

For the purposes of these regulations, four basic types of mobile homes development have been defined. They are: (1) mobile homes parks; (2) mobile home subdivisions; (3) RV Campgrounds ~~mobile home camps (or trailer parks)~~; and (4) a mobile home on a single lot...

Section 2.51.1 (A) Mobile Home Parks and Mobile Home Subdivisions: May be permitted as a conditional use only in R-2 and R-3 districts. ~~Mobile home camping areas~~ RV Campgrounds may be permitted in the A-1R district or by conditional use in B-2 district, ~~or as accessory uses in recreational areas.~~ All mobile home parks shall be subject to the standards of development established in the Subdivision Regulations...

When the Enforcement Officer has determined the application for mobile home parks or ~~trailer camps~~ RV Campgrounds complete, including payment of fees, the application is sent to the Board of Adjustment and/or Planning Commission who shall proceed to consider the application in accordance with state and local regulations. ~~the same manner as set forth in Paragraph 2.33 and in KRS 100.247 through 100.263.~~

Section 2.51.1 (D) (2) RV Campgrounds ~~Mobile Home Camps (or camping areas for trailers)~~ are permitted in the A-1R zoning district or as a conditional use ~~only~~ in the B-2 district ~~or as conditional accessory uses in major recreational areas.~~

- a. The same application, unless changes were granted, that is submitted to the Board of Adjustment and/or Planning Commission, shall be submitted to the Department of Health for their consideration.
- b. The minimum lot for each ~~trailer~~ campsite is 3,000 square feet.

- c. RV Campground developments should reserve 10% of the gross acreage useable open space. Adequate open space and recreation areas shall be provided in accessible locations.
  - a. Useable open space excludes riparian buffers, sinkholes, and other environmentally sensitive areas.
  - b. Open space(s) should be located centrally, and each campsite should be located within 1,320 feet of an open space.
  - c. Campsites should have pedestrian facilities allowing off-road access to open spaces.
  - d. Open spaces should contain diverse recreation amenities to serve the patrons of the development.
- d. Accessory commercial uses are permitted, but no closer than 100 feet from the nearest campsite, trailer or camping lot.
- e. The layout and lot arrangement shall provide maximum privacy for campsites from adjoining properties and roads. This may be achieved through landscaping, natural features, radial or alternative lot arrangements, etc.
- f. The surface of the parking area shall be improved, either paved or (8") compacted gravel or as approved by the Board. Setbacks for RV Campground structures and campsites shall be 50 feet from all property lines; except along U.S. Routes where the setback shall be 100 feet from the right-of-way.
- g. All roads vehicular use areas shall be improved as approved by the Board Planning Commission or Planning Commission Director.
  - a. Gravel shall not be used for RV Campgrounds within the Urban Service Boundaries.
- h. All lots and streets shall be properly drained.
- i. RV Campgrounds must be able to be served by municipal water.
- j. RV Campgrounds must be able to have adequate water pressure and flow rates for fire protection. In addition, fire hydrants shall be installed where requested by the local fire department.
- k. RV Campground developments shall have a maximum density of 10 RV sites per gross acre when served by public sanitary sewer.
- l. RV Campground developments shall have a maximum density of one (1) RV site per one-and-three-quarters (1.75) net acres when not served by public sanitary sewer.
- m. For RV Campgrounds designed in conjunction with cabins, primitive camping, lodges, or other temporary accommodations, each of these units will count toward the maximum density allowed under items (k) and (l) above.
- n. RV Campgrounds with two hundred (200) or more RV sites shall have two (2) public road connections. RV Campgrounds with five hundred (500) or more sites shall have a third public road connection. For the purposes of this section, cabins, primitive camping sites, lodges, or other temporary accommodation units count toward the maximum

number of sites served by a single public road connection. To meet the requirements of this section, a connection must be constructed to the minimum requirements of a city/county road and connect the development to a public road.

- o. Development of an RV Campground shall comply with all Stream Riparian Buffer requirements of the Stormwater BMP Manual.
- p. RV campsite pads shall be outside the 1% annual flood chance area (100-yr. floodplain), and shall be at least two (2) feet in elevation above the 1% annual flood chance area.
- q. All on-site septic systems shall be located outside the 1% annual flood chance area (100-yr. floodplain) and at least twenty-five (25) feet from any riparian buffer.

#### **Section 4.11 (E) – Permitted Uses in the A-1R Zone**

Section 4.11 (E) (3) Dwellings within the development, including part-time recreational dwellings and a full-time caretaker's residence, shall not be permitted on tracts of less than five acres each unless as part of a RV Campground served by public sewer;

Section 4.11 (E) (6) It is recognized that an Agricultural Recreational development can adversely impact surrounding properties and public facilities. Examples of adverse impacts include, but are not limited to noise, odor, light, light flashes, traffic, etc. Because of these potential impacts, the Commission shall review any proposed Agricultural Recreational development for impacts and impose such reasonable conditions of approval as are necessary to alleviate any adverse impact on surrounding areas and public facilities. Adverse impact on surrounding areas which cannot be alleviated through reasonable conditions of approval shall be grounds for the Commission's denial of a requested zone classification change to A-1R.

Section 4.11 (E) (7) RV Campgrounds of 20 acres or larger are permitted in the A-1R zoning district.

- a. The calculation of maximum density for the development shall include all permanent or temporary residences of caretakers.
- b. Fencing: RV Campgrounds must provide a fence of at least six (6) feet in height along the property boundaries with A-1 zoned property and rights-of-way with diamond mesh wire or equivalent no-climb wire and post spacing 8-ft. on center. The required fence must be installed prior to public use and may not be secured by bond or other surety.
- c. Landscaping: Establish a 50-ft. preservation easement by plat along the boundaries with non – A-1R zoned property and rights-of-way. Such an easement shall prohibit the removal or disturbance of existing vegetation unless demonstrated to be invasive, sick, or dead. This easement shall contain any required fencing. It shall also contain the following tree lines:

- i. A double row of evergreen/deciduous trees spaced 40 ft. on centers. The ratio of evergreens and deciduous shall not exceed 2:1. Where the campground abuts a public road, the trees shall be 30 ft. on center. The tree plantings may be waived by the Planning Commission or Planning Commission Director where existing tree lines provide adequate screening.
- ii. All landscaping shall exclude any species that may be deemed harmful to livestock.

**Section 4.22 - Conservation District Conditional Uses**

Section 4.22 Conditional Uses

- B. Public and private camps and campgrounds excluding RV Campgrounds.
- C. Residential or seasonal dwellings provided that all Health Department requirements are met, and the lot size is not less than one acre in size.

**Section 4.422 - Highway Commercial District Conditional Uses**

Section 4.422 Conditional Uses

- F. RV Campgrounds Trailer Camps





Georgetown-Scott County Planning Commission  
Planning · Engineering · GIS

February 21, 2023

Re: Proposed Budget FY 23-24

Dear Planning Commissioners:

Please see the enclosed draft budget for Fiscal Year 2023-2024. The County has requested our budget be submitted by March 17<sup>th</sup> 2023. Because of the deadline, I am sending the draft budget to you now. It will be on the Planning Commission agenda for March 9<sup>th</sup>. We can discuss the budget at our workshop meeting on March 6<sup>th</sup>. If there are any questions or requests on the budget, please let me know so I can be prepared to address them at the March workshop.

There will be an \$24,462 increase in the amount of funding requested from the City and County.

Some considerations about this draft budget:

- Total PC office operating budget is increasing by \$48,923 from our prior year final approved budget of 1,262,130 (FY 22-23) to 1,311,053 (FY 23-24) and our total city/county budget request is increasing by \$24,462 from \$546,065 (FY 22-23) to \$570,527 (FY 23-24).
- The increase in the proposed budget request can be attributed to a combination of an increase in salaries and a proposed new vehicle purchase.
- We have not requested any additional funding to support the Comprehensive Plan update which will be ongoing this budget year. But we have received \$50,000 in funding for the Comprehensive Plan in previous years, with approximately \$24,000 in funds remaining for the project, which should be sufficient to complete the project in-house.
- A proposed 5% raise for Planning Commission employees. (3% raise was eliminated in 20/21 due to City cuts and a 3% raise was approved in 21/22 and a 5% raise was approved for 22/23).
- Revenues through fees are projected to remain steady at \$170,000 based on current trends in development activity.

Sincerely,

A handwritten signature in black ink, appearing to read 'Joseph Kane', written over a white background.

Joseph Kane, AICP  
Director

**PC Draft Budget**  
**Georgetown-Scott County Planning Commission**  
**FY 2023-24**

**I. EXPENSES**

<b>A. Payroll</b>	<b>FY22-23</b>	<b>FY23-24</b>																		
Staff salaries	573,234	613,188																		
Benefits for above positions	390,580	386,481																		
<table border="0" style="width: 100%;"> <tr><td style="width: 80%;">FICA</td><td style="text-align: right;">46,909</td></tr> <tr><td>Workman's Comp. (KACo)</td><td style="text-align: right;">4,000</td></tr> <tr><td>Unemployment (KLC)</td><td style="text-align: right;">1,200</td></tr> <tr><td>Sick Leave Compensation</td><td style="text-align: right;">15,000</td></tr> <tr><td>United Healthcare</td><td style="text-align: right;">144,099</td></tr> <tr><td>Delta Dental</td><td style="text-align: right;">8,500</td></tr> <tr><td>Life Insurance</td><td style="text-align: right;">2,500</td></tr> <tr><td>Retirement</td><td style="text-align: right;">164,273</td></tr> <tr><td><b>Total</b></td><td style="text-align: right;"><b>386,481</b></td></tr> </table>	FICA	46,909	Workman's Comp. (KACo)	4,000	Unemployment (KLC)	1,200	Sick Leave Compensation	15,000	United Healthcare	144,099	Delta Dental	8,500	Life Insurance	2,500	Retirement	164,273	<b>Total</b>	<b>386,481</b>		
FICA	46,909																			
Workman's Comp. (KACo)	4,000																			
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Delta Dental	8,500																			
Life Insurance	2,500																			
Retirement	164,273																			
<b>Total</b>	<b>386,481</b>																			
Videotaping of meetings @ \$140 per meeting	0	0																		
Planning Commissioners	38,162	38,162																		
<table border="0" style="width: 100%;"> <tr><td style="width: 80%;">8 Commissioners</td><td style="text-align: right;">28,800</td></tr> <tr><td>(\$300/month/Commissioner)</td><td></td></tr> <tr><td>1 Chairman</td><td style="text-align: right;">5,400</td></tr> <tr><td>(\$450/month)</td><td></td></tr> <tr><td>Executive Committee</td><td style="text-align: right;">1,250</td></tr> <tr><td>(5 members/\$25/10 meetings ea.)</td><td></td></tr> <tr><td>FICA on all</td><td style="text-align: right;">2,712</td></tr> <tr><td><b>Total</b></td><td style="text-align: right;"><b>38,162</b></td></tr> </table>	8 Commissioners	28,800	(\$300/month/Commissioner)		1 Chairman	5,400	(\$450/month)		Executive Committee	1,250	(5 members/\$25/10 meetings ea.)		FICA on all	2,712	<b>Total</b>	<b>38,162</b>				
8 Commissioners	28,800																			
(\$300/month/Commissioner)																				
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FICA on all	2,712																			
<b>Total</b>	<b>38,162</b>																			
Board of Adjustment members	31,003	31,003																		
<table border="0" style="width: 100%;"> <tr><td style="width: 80%;">12 members</td><td style="text-align: right;">28,800</td></tr> <tr><td>(\$200/month/member)</td><td></td></tr> <tr><td>FICA</td><td style="text-align: right;">2,203</td></tr> <tr><td><b>Total</b></td><td style="text-align: right;"><b>31,003</b></td></tr> </table>	12 members	28,800	(\$200/month/member)		FICA	2,203	<b>Total</b>	<b>31,003</b>												
12 members	28,800																			
(\$200/month/member)																				
FICA	2,203																			
<b>Total</b>	<b>31,003</b>																			
<b>TOTAL PAYROLL</b>	<b>1,032,979</b>	<b>1,068,834</b>																		
<b>B. Contractual</b>																				
Hearing Officer/Attorney	42,966	45,114																		
<b>C. Office Expenses</b>	<b>67,000</b>	<b>70,000</b>																		
<b>D. Insurance (KACo)</b>																				
General liability, Public Officials liability, vehicle	25,985	25,985																		

<b>E. Engineering</b> (vehicle maintenance, equipment)	3,000	2,000
<b>F. GIS</b>	28,900	27,820
Spectrum Grade 20 MG Fiber Connection (\$13,320)		
ESRI yearly license and Maintenance Fee (\$14,500)		
<b>TOTAL PLANNING OFFICE COSTS</b>	<b>1,200,830</b>	<b>1,239,753</b>
<b>G. BUILDING OPERATIONS</b>	26,300	26,300
<b>H. VEHICLE REPLACEMENT</b>	0	45,000
<b>I. PHONE SYSTEM UPGRADE</b>	10,000	0
<b>J. COMPREHENSIVE PLAN</b>	25,000	0
<b>TOTAL REQUEST</b>	<b><u>1,262,130</u></b>	<b><u>1,311,053</u></b>

<b>II. REVENUES</b>	<b><u>FY 22-23</u></b>	<b><u>FY 22-23</u></b>
A. Projected Development Fees	160,000	160,000
B. GIS Revenues	5,000	5,000
C. Board of Adjustment Revenues	5,000	5,000
D. City of Georgetown/Downtown Design Board	0	0
E. Rent from Revenue Commission	0	0
F. City Share	546,065	570,527
G. County Share	546,065	570,527
<b>TOTAL REVENUES</b>	<b><u>1,262,130</u></b>	<b><u>1,311,053</u></b>

### Budget line items - FY 23-24

Office Expenses	FY 17-18	FY 18-19	FY 19-20	FY 20-21	FY 21-22	FY 22-23	FY 23-24
Advertising (including BOA)	750	750	750	750	750	750	1,000
Assets (computers, file cabinets, etc.)	2,000	1,600	1,600	2,000	2,000	2,000	2,000
Consulting (audit)	5,000	7,500	7,500	7,500	7,500	10,000	10,000
IT Technical Support (Netgain)	24,000	24,000	25,000	25,000	25,000	25,000	25,000
Mileage (gasoline)	3,000	3,000	4,500	3,500	3,500	4,000	3,000
Miscellaneous Office Expenses	1,000	1,000	1,000	1,000	1,000	1,000	1,000
Office Supplies	2,000	2,000	2,000	2,000	2,000	2,000	4,000
Payroll Expenses (checks, support, subsc.)	2,000	2,000	2,000	1,500	1,500	1,500	1,500
Postage	1,500	1,500	2,000	1,500	1,500	1,500	1,500
Telephone (including cells)	5,000	5,000	4,500	2,000	2,000	3,000	3,000
Travel and Education (memberships, accredited.)	8,000	8,000	8,000	10,000	8,000	8,000	8,000
Warranties (Xerox and Lynn Imaging)	6,500	6,500	4,000	6,000	6,000	4,000	5,000
Website, email hosting	150	150	150	250	250	250	250
Recording Fees							4,750
<b>TOTAL</b>	<b>60,900</b>	<b>63,000</b>	<b>63,000</b>	<b>63,000</b>	<b>61,000</b>	<b>67,000</b>	<b>70,000</b>
<b>Building Maintenance</b>							
D-C Elevator (\$100 x 7)	700	700	700	700	700	700	700
Columbia Gas	4,000	4,000	4,000	4,600	4,600	6,000	6,000
GMWSS	700	700	700	600	600	1,000	1,000
Kentucky Utilities	9,000	9,000	9,000	12,000	12,000	12,000	12,000
Fire alarm & monitoring (Koorsen)	1,800	1,800	1,800	1,200	1,200	1,200	1,200
Cleaning Supplies	400	400	400	300	300	300	300
Grounds Maintenance	1,000	1,000	1,000	1,500	1,500	2,500	2,500
Building Insurance	0	0	0	0	0	0	0
Misc. - pest control	100	100	100	600	600	600	600
Misc. - repairs	2,000	2,000	2,000	2,000	2,000	2,000	2,000
<b>TOTAL</b>	<b>19,700</b>	<b>19,700</b>	<b>19,700</b>	<b>23,500</b>	<b>23,500</b>	<b>26,300</b>	<b>26,300</b>

# GSCPC Active Development Projects

Status	Application number	Project Name	Type
<b>Under Construction</b>			
	<b>Number of Projects: 19</b>		
	2020-47	American Mini-Storage (South) Expansion	DEV-C
	2018-43	Amerson North Townhomes	DEV-R
	2015-22	Cherry Blossom Townhomes Phase 5 (Haddix triplex)	DEV-R
	2021-07	Core Controls - 155 Enterprise Way	DEV-C
	2021-41	Cosswinds Center (105 Crosswinds) Skyline/Dunkin	DEV-C
	2018-32	Crossings at Wyndamere (Ph4) - Conner Path	DEV-C
	2022-43	Dearinger Property Expansion - 904 E. Main	DEV-C
	2019-31	Hotel Development - 150 Ikebana Dr	DEV-C
	2020-25	Innovative Holdings - 185 Industry Road - Grading	DEV-C
	2021-40	KY Farm Bureau - 101 Trackside	DEV-C
	2006-07	Overlook Apartments (Dover Dr) Phase 3 & 4	DEV-C
	2019-49	Parkview Medical Plaza - Phase I, S Broadway	DEV-C
	2017-05	Patriot RV Bldg Addition - Paris Pike	DEV-C
	2018-18	Pleasant Valley, Section II - Phase 3 Condominiums	DEV-C
	2019-03	South Crossing - Apartments	DEV-R
Minor DP		TMMK N1 Trailer Yard Expansion (North-East)	DEV-C
	2011-29	Traditions Apartments (Falls Creek) Phase 2 & 3	DEV-R
	2022-13	Universal Piping - Enterprise Way	IND
	2003-56	White Oak Village - Development (Units)	DEV-R
<b>Final Inspection</b>			
	<b>Number of Projects: 5</b>		
	2017-33	American Mini (Self-Storage 1047 Paris Pike)-Ph I	DEV-C
	2022-20	Lone Tree Properties - 107 Demand Ct	DEV-C
	2013-09	Northside Christian Church - 101 Ferguson	DEV-C
	2020-18	Ohnheiser Co, LLC - 167 Industry Rd	DEV-C
	2021-24	Whitaker Prop Distrib Center - Carley/Kaden	DEV-C

# GSCPC Active Subdivision Projects

Status	Application number	Project Name
<b>Under Construction</b>	Number of Projects:	7
	2019-01	Cherry Blossom Subdivision - Phase 9
	2021-04	Falls Creek Residential - Phase 2
	2017-43	Fox Run - Phase 2
	2006-30	McClelland Springs Ph IIB & IIC Section A (Delong)
	2018-57	Price Farm Phase 3 (Abbey at Old Oxford)
	2021-20	Village at Lanes Run - Ph 3, Sect 2 (Briggs)
2018-05	Woodland Park (Betty Yancey) Phase 2	
<b>Dedication/Final Work</b>	Number of Projects:	5
	2017-43	Fox Run Subdivision - Phase 1
	2004-51	Pleasant Valley Phase 4B, 4C, & 4F
	2004-51	Pleasant Valley Phase 4D & 4E
	2018-61	Village at Lanes Run - Phase 2, Sect 3-B (Charles)
2018-05	Woodland Park (Betty Yancey) Phase 1	
<b>Approved/Bonded</b>	Number of Projects:	12
	2006-80	Barkley Meadows (Duncan/Fightmaster) Phase 2
	2019-13	Cherry Blossom Townhomes - Phase 6
	2006-86	December Estates Cluster Subdivision
	2019-39	Harbor Village Unit 1, Phase 3C
	2019-46	Jones Prop - Willow Brook Ln Ext
	2017-24	Pinnacle At Mallard Point
	2018-57	Price Farm(Abbey) Ph3 Units 1A, 1B, 1C, 1D
	2019-02	South Crossing - Phase 1 Units 1A, 1B, 1C
	2019-02	South Crossing - Phase 1 Units 1D, 1E, 1F
	2018-61	Village at Lanes Run - Phase 2, Sect 3-C (Haddix)
	2004-26	Village at Lanes Run - Phase 3, Sect 1A (Charles)
2004-26	Village at Lanes Run - Phase 3, Sect 1B (Charles)	

## List of all Active Projects/status

Application	Project Name	Type	Status
2017-34	Adient USA (Hillps) Amended DP (Parking and dock)	DEV-C	No Activity
2022-34	Aldi (Parkview Medical Ph2 Bldg D) 135 American	DEV-C	Under Review
2017-33	American Mini (Self-Storage_1047 Paris Pike)-Ph 1	DEV-C	Final Inspection
2020-47	American Mini-Storage (South) Expansion	DEV-C	Under Construction
2017-20	Amerson - Schoolhouse Road Unit 1	DEV-C	Approved/Bonded
2017-20	Amerson Commercial Grading and Site Work	DEV-C	Approved/Bonded
2018-43	Amerson North Townhomes	DEV-R	Under Construction
2006-80	Barkley Meadows (Duncan/Fightmaster) Phase 2	RES	Approved/Bonded
2022-28	Best Pets Animal Clinic - US 62	DEV-C	Under Review
2020-34	Bourbon 30 & ESI (240 Corporate)	DEV-C	No Activity
2019-01	Cherry Blossom Subdivision - Phase 9	RES	Under Construction
2019-13	Cherry Blossom Townhomes - Phase 6	RES	Approved/Bonded
2015-22	Cherry Blossom Townhomes Phase 5 (Haddix triplex)	DEV-R	Under Construction
2022-29	Chick-Fil-A, Tiger Way - Redevelopment	DEV-C	Complete
2021-07	Core Controls - 155 Enterprise Way	DEV-C	Under Construction
2021-41	Cosswinds Center (105 Crosswinds) Skyline/Dunkin	DEV-C	Under Construction
2018-32	Crossings at Wyndamere (Ph4) - Conner Path	DEV-C	Under Construction
2022-43	Dearinger Property Expansion - 904 E. Main	DEV-C	Under Construction
2006-86	December Estates Cluster Subdivision	RES	Approved/Bonded
2002-52	Deer Run - Phase 3A	RES	Warranty Period
2002-52	Deer Run - Phase 3B	RES	Warranty Period
2018-10	Dog Haus Development	DEV-C	No Activity
2005-26	Edgewood Subdivision - Phase 1	RES	Complete
2011-29	Falls Creek Drive extension	DEV-C	Approved/Bonded
2021-11	Falls Creek Phase 2 (Res) Townhomes	DEV-R	Under Review
2021-04	Falls Creek Residential - Phase 2	RES	Under Construction

<b>Application</b>	<b>Project Name</b>	<b>Type</b>	<b>Status</b>
2017-43	Fox Run - Phase 2	RES	Under Construction
2017-43	Fox Run Subdivision - Phase 1	RES	Dedication/Final Work
2021-06	Georgetown Auto Sales - 136 Darby Dr	DEV-C	No Activity
2020-43	Harbor Village - Phase 4	RES	No Activity
2019-39	Harbor Village Unit I, Phase 3C	RES	Approved/Bonded
2015-08	Heritage Apartments at Falls Creek - Phase 2	DEV-R	Complete
2015-08	Heritage Apartments at Falls Creek - Phase 3	DEV-R	Under Review
2019-06	Hoghead Trailer Sales-Showalter	DEV-C	No Activity
2019-31	Hotel Development - 150 Ikebana Dr	DEV-C	Under Construction
2020-25	Innovative Holdings - 185 Industry Road - Grading	DEV-C	Under Construction
2018-52	Jimmy Johns - 121 Southgate Dr	DEV-C	No Activity
2019-46	Jones Prop - Willow Brook Ln Ext	RES	Approved/Bonded
2021-40	KY Farm Bureau - 101 Trackside	DEV-C	Under Construction
2018-15	Landmark (South, Kelley-Owen) Office Bldg Exp	DEV-C	No Activity
2022-40	Living Waters - Bldg Addition, 172 Gunnell	DEV-C	Under Review
2022-20	Lone Tree Properties - 107 Demand Ct	DEV-C	Final Inspection
2006-28	McClelland Springs Ph IIB & IIC	RES	Under Review
2006-30	McClelland Springs Ph IIB & IIC Section A (DeLong)	RES	Under Construction
2009-20	Morgan Property	DEV-C	No Activity
2017-14	Morgan Property (Tract 2) 2017	DEV-C	No Activity
2013-09	Northside Christian Church - 101 Ferguson	DEV-C	Final Inspection
2020-18	Ohnheiser Co, LLC - 167 Industry Rd	DEV-C	Final Inspection
2006-07	Overlook Apartments (Dover Dr) Phase 3 & 4	DEV-C	Under Construction
2019-49	Parkview Medical Plaza - Phase I, S Broadway	DEV-C	Under Construction
2017-05	Patriot RV Bldg Addition - Paris Pike	DEV-C	Under Construction
2015-05	Pemberley Cove	RES	Warranty Period
2018-29	Penn Ave Baptist Parking - Stamping Ground	DEV-C	No Activity
2017-24	Pinnacle At Mallard Point	RES	Approved/Bonded



Application	Project Name	Type	Status
2004-51	Pleasant Valley Phase 4B, 4C, & 4F	RES	Dedication/Final Work
2004-51	Pleasant Valley Phase 4D & 4E	RES	Dedication/Final Work
2004-51	Pleasant Valley Phase 5	RES	Under Review
2018-18	Pleasant Valley, Section II - Phase 3 Condominiums	DEV-C	Under Construction
2018-57	Price Farm Phase 3 (Abbey at Old Oxford)	RES	Under Construction
2018-57	Price Farm(Abbey) Ph3 Units 1A, 1B, 1C, 1D	RES	Approved/Bonded
2021-42	R&L Carriers - Cherry Blossom Way Spur	DEV-C	Under Review
2022-21	Redwood Apartments - Old Oxford (Finley)	DEV-R	Under Review
2021-45	Regal Springs, 1555 Frankfort Rd	DEV-R	Under Review
2005-02	Rocky Creek Reserve - Unit 1 Sect 1,2,3A,3B,4	RES	Warranty Period
2005-02	Rocky Creek Reserve Phase 3 Section 1 (Ball)	RES	Warranty Period
2005-02	Rocky Creek Reserve Phase 3 Section 2 (Ball)	RES	Warranty Period
2022-48	Scooters Coffee - Edwards Ave	DEV-C	Under Review
2022-35	Shed Squad & Sunshine Grow - Lexington Rd	DEV-C	Complete
2019-03	South Crossing - Apartments	DEV-R	Under Construction
2019-02	South Crossing - Phase 1 Units 1A, 1B, 1C	RES	Approved/Bonded
2019-02	South Crossing - Phase 1 Units 1D, 1E, 1F	RES	Approved/Bonded
Minor DP	Stonewall First Church of God - Grading & Parking	DEV-C	No Activity
2018-38	Sutton Place Remaining - Phase 4	RES	No Activity
2005-22	Thoroughbred Acres Unit 11(Commercial Subdivision	DEV-C	Approved/Bonded
2008-40	Thoroughbred Acres Unit 7D, Section 1	RES	Warranty Period
Minor DP	TMMK NI Trailer Yard Expansion (North-East)	DEV-C	Under Construction
2011-29	Traditions Apartments (Falls Creek) Phase 2 & 3	DEV-R	Under Construction
2021-50	United Talent Parking Expansion - Kaden Ln	DEV-C	Under Review
2022-13	Universal Piping - Enterprise Way	IND	Under Construction
2020-02	Village at Georgetown (Lemons Mill/E Main Ext)	DEV-R	No Activity
2021-20	Village at Lanes Run - Ph 3, Sect 2 (Briggs)	RES	Under Construction
2018-61	Village at Lanes Run - Phase 2, Sect 3-B (Charles)	RES	Dedication/Final Work

<b>Application</b>	<b>Project Name</b>	<b>Type</b>	<b>Status</b>
2018-61	Village at Lanes Run - Phase 2, Sect 3-C (Haddix)	RES	Approved/Bonded
2004-26	Village at Lanes Run - Phase 3, Sect 1A (Charles)	RES	Approved/Bonded
2004-26	Village at Lanes Run - Phase 3, Sect 1B (Charles)	RES	Approved/Bonded
2022-05	Village at Lanes Run - Phase 4	RES	Under Review
Minor	Welch Parking Lot Development	DEV-C	Under Review
2021-24	Whitaker Prop Distrib Center - Carley/Kaden	DEV-C	Final Inspection
2019-10	White Oak Condominiums Phase 4 (Remaining)	RES	Warranty Period
2003-56	White Oak Village - Development (Units)	DEV-R	Under Construction
2018-05	Woodland Park (Betty Yancey) Phase 1	RES	Dedication/Final Work
2018-05	Woodland Park (Betty Yancey) Phase 2	RES	Under Construction
<b>Total Number of Active Projects:</b>		92	